



Oregon

Kate Brown, Governor

Oregon Department of Aviation

3040 25th Street SE

Salem, OR 97302-1125

Office: 503-378-4880

Fax: 503-373-1688



TO: Melissa Jenck, CFM, Land Use Planner II
Tillamook County Department of Community Development

FROM: Seth Thompson, Aviation Planner
Oregon Department of Aviation

DATE: March 29, 2022

SUBJECT: Oregon Department of Aviation (ODAV) Agency Comments on Floodway
Development Permit #851-21-000321-PLNG: Coulter

Thank you for providing the opportunity for the Oregon Department of Aviation (ODAV) to comment on Floodway Development Permit #851-21-000321-PLNG. The ODAV has reviewed the proposal referenced with the above file number and has prepared the following report and recommendations:

1. ODAV Report on Permit #851-21-000321-PLNG

The applicant proposes to place a single-family dwelling near the Nestucca River, directly adjacent to the Pacific City State Airport (PFC). The subject property is accessed from Rueppell Avenue, a County local access road, and is designated as Tax Lot 4800, of Section 30BD of Township 4 South, Range 10 West of the Willamette Meridian, Tillamook County, Oregon. The property is located in the Pacific City/Woods Airpark (PCW-AP) Zone.

Based on the provided application materials, the proposed single-family dwelling appears to be within the Transitional Surface and the Runway Object Free Area of the PFC Airport. The ODAV strongly opposes any new residential obstruction within the Transitional Surface, and strongly discourages any objects within the Runway Object Free Area.

The ODAV is very concerned that the proposed single-family dwelling will have a detrimental impact on the safety of air navigation at PFC Airport. Current development surrounding PFC Airport already greatly exceeds FAR Part 77 Obstruction Standards. Therefore, the addition of this structure will only further exacerbate this danger to pilots and the public at PFC Airport.

It is important to note that the ODAV reserves the authority to independently identify any structure as a hazard to aviation in accordance with OAR 738-070-0010 (6). The FAA also reserves the authority to identify any structure as a hazard to aviation in accordance with 14 CFR § 77.31 Determinations (c) if the structure exceeds an obstruction standard of FAR Part 77 and has a substantial aeronautical impact.

In addition, the proposed single-family dwelling appears to be in non-conformance with the Airport Land Use Compatibility Guidebook -Table 3-4: Compatible Land Uses per FAR Part 77 Surfaces and FAA Safety Areas. Please see attached for reference. The ODAV strongly discourages residential development in non-conformance with Table 3-4 and the applicable standards provided in the Airport Land Use Compatibility Guidebook.

If approved by Tillamook County, the proposed single-family dwelling will require airspace review by the FAA and ODAV subject to the standards in Code of Federal Regulations: Title 14. Aeronautics and Space: PART 77—Safe, Efficient Use, and Preservation of the Navigable Space.

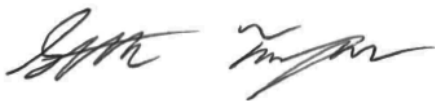
The proposal is subject to compliance with FAR Part 77.9 Construction or alteration requiring notice (a-d), FAR Part 77.17 Obstruction standards (a-b) and Obstruction Standards of OAR 738-70-0100.

2. ODAV Recommendations for Permit #851-21-000321-PLNG

1. In accordance with FAR Part 77.9 and OAR 738-070-0060, this proposal is required to undergo aeronautical evaluations by the FAA and ODAV. The aeronautical evaluations are initiated by the applicant providing notice to the FAA and ODAV to determine if the proposed structure will pose a hazard to aviation safety at Pacific City State Airport (PFC). The applicant must receive the resulting aeronautical determination letters from the FAA and ODAV prior to approval of any building permits.
2. The proposed structure shall not penetrate FAR Part 77 Imaginary Surfaces, as determined by the FAA and ODAV.
3. External lights shall be designed as to not interfere with aircraft or airport operations.
4. Trees and other planted vegetation shall not penetrate FAR Part 77 Imaginary Surfaces.

Thank you for allowing the ODAV to comment on this development proposal. Please feel free to contact me if you have any questions or need information.

Sincerely,



Seth Thompson, Aviation Planner
503-507-6965 | seth.thompson@odav.oregon.gov

CC: Heather Peck, Planning & Projects Manager
Oregon Department of Aviation

Tony Beach, Deputy Director, State Airports Manager
Oregon Department of Aviation

From: [THOMPSON Seth](#)
To: [PECK Heather](#); [STANSBURY Betty](#); [BEACH Anthony](#); [PIKE Brandon](#)
Subject: FW: Dollar General Project Pre-Application Meeting Request
Date: Tuesday, July 19, 2022 9:27:38 PM
Attachments: [image006.png](#)
[image008.png](#)
[Pacific City State ALP 2004.pdf](#)

Good evening,

I wanted to forward the additional comments I provided the county for this proposal that were sent prior to Heather's follow-up email to Melissa Jenck at Tillamook County.

I successfully provided the below comments dated Sunday, May 22nd prior to the pre-application meeting with Dollar General.

My comments clearly identified the proposed structure as an incompatible land use within the RPZ. Heather did an excellent job of providing additional OAR 660 citations.

ODAV provided comments on the record and in a timely manner, citing all required federal and state standards.

Though the county wants ODAV to make these statements formally in a land use hearing, it is important to note that the county fully understands the situation and ODAV's stance on this proposal.

Thank you,

Seth

From: THOMPSON Seth
Sent: Sunday, June 12, 2022 9:11 PM
To: Melissa Jenck <mjenck@co.tillamook.or.us>
Cc: PECK Heather <heather.peck@odav.oregon.gov>
Subject: RE: Dollar General Project Pre-Application Meeting Request

Hi Melissa,

My apologies for the very late reply. I am no longer a full-time planner with ODAV, but will be assisting the agency with land use and aviation needs throughout this summer.

ODAV has no internal GIS department and does not currently utilize GIS tools like ArcGIS. For this reason, I unfortunately cannot provide you with shapefiles that contain the data needed for overlays or airport boundaries.

However, I have attached a 2004 airport layout plan (ALP) for Pacific City State Airport that depicts important parameters like the Airport Property Line, Building Restriction Line, Object Free Area and Runway Protection Zone (RPZ), which I identified in previous emails.

I have included Heather Peck on this email in case she would like to provide further guidance.

Thank you for reaching out and please let me know if you have any questions.

Best regards,

Seth

From: Melissa Jenck <mjenck@co.tillamook.or.us>
Sent: Monday, May 23, 2022 8:50 AM
To: THOMPSON Seth <Seth.THOMPSON@odav.oregon.gov>
Subject: RE: Dollar General Project Pre-Application Meeting Request

This message was sent from outside the organization. Treat attachments, links and requests with caution. Be conscious of the information you share if you respond.

Good morning Seth,

Hope you had a good weekend! In reviewing your email, I noticed you provided a map with the boundaries for the Pacific City airport. While it does not directly reference the boundaries our Department uses for land use requirements, it would be a valuable resource for planning in the area.

Is there an opportunity for Tillamook County to have access to the data for these layers? If there is a specific person I should contact, I'd be happy

to reach out to them.

Thank you!



Melissa Jenck (she/her) | CFM, Senior Planner
TILLAMOOK COUNTY | Community Development
1510-B Third Street
Tillamook, OR 97141
Phone (503) 842-3408 x3301
mjenck@co.tillamook.or.us

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The Department is excited to announce that we are OPEN to the public by appointment. To review the list of services provided and to schedule an appointment with us, please visit <https://www.co.tillamook.or.us/gov/ComDev/> to access the appointment scheduler portal.

From: THOMPSON Seth <Seth.THOMPSON@odav.oregon.gov>

Sent: Sunday, May 22, 2022 1:02 AM

To: Rachelle DeLoe <rdeleo@pcjwsa.com>; Sarah Absher <sabsher@co.tillamook.or.us>; Chris Laity <claity@co.tillamook.or.us>;
joeder@nrfpd.com; KC Fagen (kcfagen@tpud.org) <kcfagen@tpud.org>; BUFFINGTON Mark W <Mark.W.BUFFINGTON@odot.oregon.gov>; PECK
Heather <heather.peck@odav.oregon.gov>

Cc: John Wesely <jwesely@pcjwsa.com>; WILSON John P <John.P.WILSON@odav.oregon.gov>; BEACH Anthony
<Anthony.BEACH@odav.oregon.gov>

Subject: EXTERNAL: RE: Dollar General Project Pre-Application Meeting Request

[NOTICE: This message originated outside of Tillamook County -- DO NOT CLICK on links or open attachments unless you are sure the content is safe.]

Hello,

Unfortunately I am unable to attend the pre-application meeting for this proposal. However, I have provided comments below that address this proposal in regards to air navigation safety.

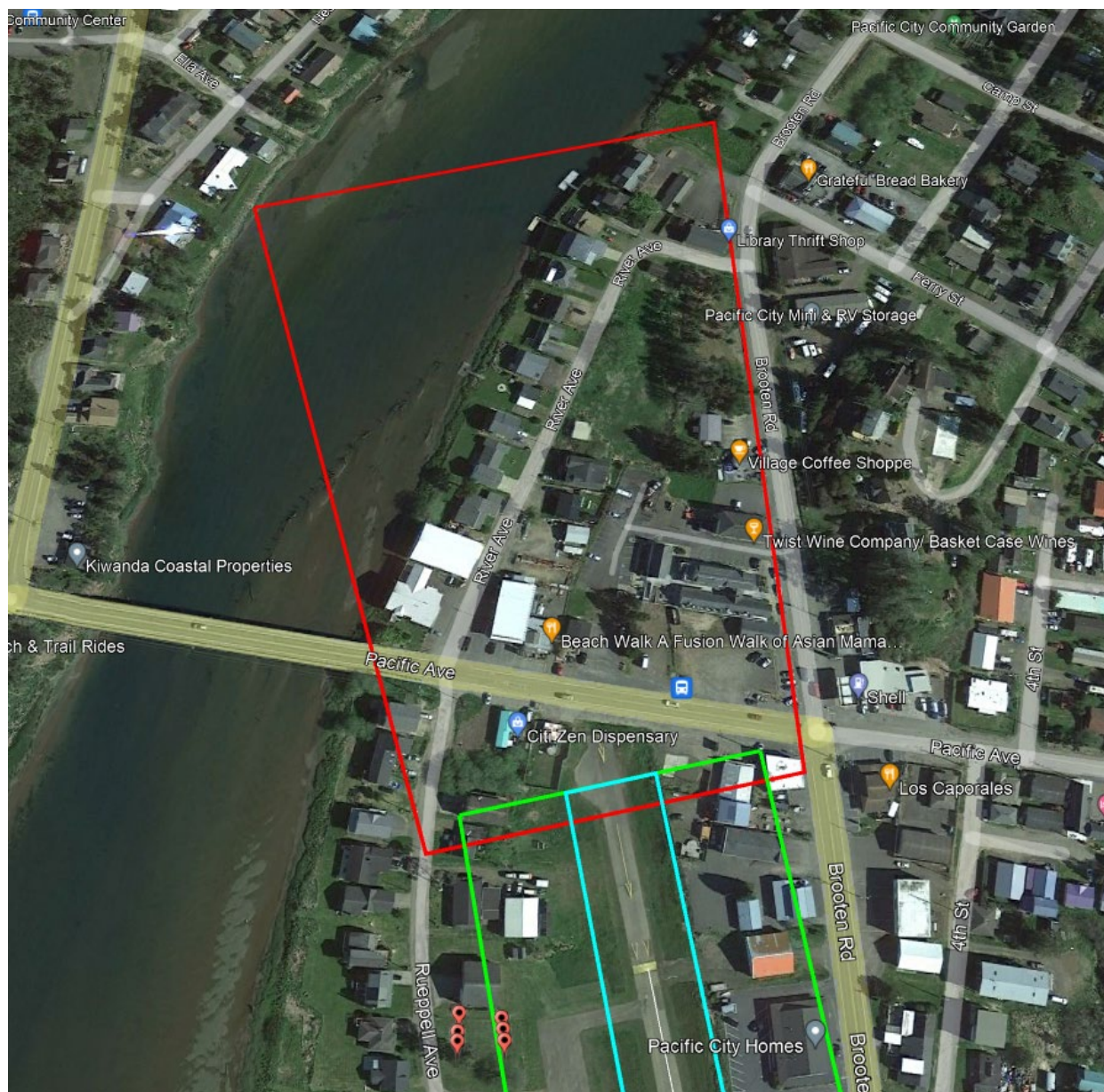
I have included Tony Beach, State Airports Manager, ODAV and John Wilson, Airport and Emergency Operations Specialist, ODAV to offer them the opportunity to provide their perspective.

Based on my preliminary review of this proposal, I provide the following findings and recommendations below:

1. The proposal appears to be within the Runway Protection Zone (RPZ) of Runway 14 at the Pacific City State Airport (PFC). No structures shall be allowed within the RPZ per the Airport Land Use Compatibility Guidebook - Table 3-4: Compatible Land Uses per FAR Part 77 Surfaces and FAA Safety Areas and FAR Part 77 federal standards. Please see attached for reference. Exceptions shall be made only for structures accessory to airport operations whose location within the RPZ has been approved by the Federal Aviation Administration. The below screenshot represents the proposal's location in proximity to Runway 14 and the RPZ. Please note that the portion of land outlined in red represents the RPZ.
2. In accordance with FAR Part 77.9 and OAR 738-070-0060, all new proposed structures within this proposal are required to undergo aeronautical evaluations by the FAA and ODAV prior to construction. The aeronautical evaluations are initiated by the applicant providing notice to the FAA and ODAV to determine if the proposed construction poses an obstruction to aviation safety at Pacific City State Airport. The applicant must receive the resulting aeronautical determination letters from the FAA and ODAV prior to approval of any building permits.
3. The height of new structures shall not penetrate FAR Part 77 Imaginary Surfaces, as determined by the FAA and ODAV.
4. Exterior lighting shall be designed as to not interfere with aircraft or airport operations.
5. Trees and other planted vegetation shall not penetrate FAR Part 77 Imaginary Surfaces.

Best regards,

Seth Thompson, ODAV



From: Rachelle DeLoe <rdeloe@pcjwsa.com>

Sent: Thursday, May 19, 2022 10:54 AM

To: Sarah Absher <sabssher@co.tillamook.or.us>; Chris Laity <claity@co.tillamook.or.us>; THOMPSON Seth <Seth.THOMPSON@odav.oregon.gov>; joeder@nrfpd.com; KC Fagen (kcfagen@tpud.org) <kcfagen@tpud.org>; BUFFINGTON Mark W <Mark.W.BUFFINGTON@odot.oregon.gov>; PECK Heather <heather.peck@odav.oregon.gov>

Cc: John Wesely <jwesely@pcjwsa.com>

Subject: RE: Dollar General Project Pre-Application Meeting Request

This message was sent from outside the organization. Treat attachments, links and requests with caution. Be conscious of the information you share if you respond.

June 2nd will work great for us.

Rachelle DeLoe
Executive Assistant
Pacific City Joint Water Sanitary Authority

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From: Sarah Absher <sabssher@co.tillamook.or.us>

Sent: Tuesday, May 17, 2022 4:59 PM

To: Chris Laity <claity@co.tillamook.or.us>; seth.thompson@odav.oregon.gov; joeder@nrfpd.com; KC Fagen (kcfagen@tpud.org) <kcfagen@tpud.org>; Rachelle DeLoe <rdeloe@pcjwsa.com>; BUFFINGTON Mark W <Mark.W.BUFFINGTON@odot.state.or.us>; heather.peck@odav.oregon.gov

Subject: RE: Dollar General Project Pre-Application Meeting Request

And May 30th is a holiday... Does Thursday, June 2nd work for everyone? If not, I will work on additional dates.

Thank You,



Sarah Absher, CFM, Director
TILLAMOOK COUNTY | Community Development
1510-B Third Street
Tillamook, OR 97141
Phone (503) 842-3408 x3317
sabsher@co.tillamook.or.us

From: Sarah Absher

Sent: Tuesday, May 17, 2022 4:55 PM

To: Chris Laity <claity@co.tillamook.or.us>; seth.thompson@odav.oregon.gov; joeder@nrfpd.com; KC Fagen (kcfagen@tpud.org) <kcfagen@tpud.org>; rdeloe@pcjwsa.com; BUFFINGTON Mark W <Mark.W.BUFFINGTON@odot.state.or.us>

Subject: Dollar General Project Pre-Application Meeting Request

Importance: High

Good Afternoon Everyone;

Dollar General has requested a pre-application meeting for a proposed project site in Pacific City. Project is within the Airport Overlay Zone, Flood Hazard Overlay Zone and Tsunami Hazard Overlay Zone.

Please let me know if you are available one or both of these dates: Monday, May 30th at 1:30pm and Thursday, June 2nd at 1:30pm. Once confirmed, I will reach out to the applicant to confirm the date.

Project Location: Tax lots 6900,6800,6700,6701 possible lots for access 8000, 7900, and 8100.



Sarah Absher, CFM, Director
TILLAMOOK COUNTY | Community Development
 1510-B Third Street
 Tillamook, OR 97141
 Phone (503) 842-3408 x3317
sabsher@co.tillamook.or.us

From: [PIKE Brandon](#)
To: [SUGAHARA Kenji](#); [THOMAS Alex R](#); [BEACH Anthony](#)
Subject: Property Adjacent to PFC
Date: Wednesday, February 28, 2024 10:45:04 AM
Attachments: [image002.png](#)
[image003.png](#)
[image004.png](#)
[image005.png](#)

Good morning all,

I just wanted to warn you that we may be contacted about this property in the coming days/weeks (see screenshot below). It's located at the northeast corner of the Pacific City runway (I believe the old address was 6395 Pacific Ave), and there are a number of concerns from an aviation standpoint —namely, that virtually any new structure will impact the approach surface. I've advised interested buyers about the potential aviation-related limitations, and discussed ways to reduce overall impacts to airspace.

One recent interested buyer is pretty frustrated with my answers and stated that he would be contacting a variety of politicians, media outlets, and management at ODAV about our position. He wants to construct a new building in the southwest portion of the property (near where you can make out the foundation of the old building), and place a ¾-scale model airplane on the roof. I told him that placing the building in the northeast portion of the property would be much better from our perspective, along with not placing the aircraft on the roof, as these steps would greatly reduce the impact to airspace.

In essence, he wants us to waive our standards since this would be an aviation-related use (it would include a small museum for aviation history in the area, along with some other commercial use). It honestly sounds like a great project and could generate interest in aviation in the area, but I've told him that, at least from our perspective, it would be better suited elsewhere given the aviation-related concerns. I've also explained that approval authority is at the local level and our role is more to advise the local jurisdiction and to mitigate impacts to aviation, but I don't think he's satisfied knowing that ODAV would be on record in opposition to the project if it moves forward with its current design.

Friends of Pacific City State Airport reached out to me in support of the project. However, once I explained our concerns, they also said that it would be better suited elsewhere.

I know you are all tied up today and/or this whole week, but I wanted to give you a quick briefing in case you hear anything before we have a chance to chat about it.

Talk with you soon,



BRANDON PIKE

OREGON DEPARTMENT OF
AVIATION
AVIATION PLANNER



PHONE 971-372-1339

EMAIL brandon.pike@odav.oregon.gov

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APPLICABLE CODES

2021 OREGON ENERGY EFFICIENCY SPECIALTY CODE (OEESC)
2023 OREGON RESIDENTIAL SPECIALTY CODE (ORSC)
2023 OREGON ELECTRICAL SPECIALTY CODE (OESC)
2022 OREGON MECHANICAL SPECIALTY CODE (OMSC)
2023 OREGON PLUMBING SPECIALTY CODE (OPSC)

SUBMITTAL NOTES

DEFERRED SUBMITTALS:
PLUMBING PERMIT
HVAC PERMIT
ELECTRICAL PERMIT
NOTE: POWER, SEWER AND WATER UTILITIES ARE EXISTING.

SHEET SCHEDULE

A-0.1	SITE PLAN
A-1.1	FIRST FLOOR PLAN
A-1.2	SECOND FLOOR and ROOF PLAN
A-1.3	DOOR and WINDOW SCHEDULES
A-2.0	PERSPECTIVES
A-2.1	BUILDING ELEVATIONS
A-3.1	BUILDING SECTION and DETAILS
A-3.2	BUILDING SECTION and DETAILS
S-1.1	GENERAL STRUCTURAL NOTES
S-1.2	GENERAL STRUCTURAL NOTES
S-2.1	FOUNDATION PLAN
S-2.2	UPPER LEVEL FRAMING PLAN
S-2.3	ROOF FRAMING PLAN
S-3.1	TYPICAL FOUNDATION & CMU DETAILS
S-3.2	TYPICAL WOOD FRAMING DETAILS
S-3.3	TYPICAL WOOD FRAMING DETAILS
E-1.1	FIRST and SECOND FLOOR ELECTRICAL PLANS

SITE DATA

SITE ADDRESS: TBD RUEPELL AVE
PACIFIC CITY, OREGON 97135
PARCEL #: 451030BD04700
LOT AREA: 6,296 S.F. / 0.14 ACRES

TILLAMOOK COUNTY ZONING DATA

JURISDICTION: TILLAMOOK COUNTY
ZONING: PCW-AP
USE: VACANT, H & B USE RESIDENTIAL
FRONT YARD BSL: 20' SETBACK FROM PL
SIDE YARD BSL: 5' SETBACK FROM PL
REAR YARD BSL: 20' SETBACK FROM PL
HEIGHT LIMIT: 35' & AIRPORT OVERLAY HEIGHT RESTRICTIONS

OREGON STATE RESIDENTIAL ENERGY CODE COMPLIANCE SUMMARY

- BALANCED WHOLE HOUSE VENTILATION SYSTEMS:**
- LOCAL EXHAUST OR SUPPLY FANS MAY SERVE AS PART OF SUCH A SYSTEM. A SUPPLY FAN DUCTED TO THE RETURN SIDE OF AN AIR HANDLER CAN SERVE AS THE SUPPLY VENTILATION FOR THE BALANCE OF THE SYSTEM.
 - ALL EXHAUST FANS ARE ENERGY STAR® RATED.
 - TIMER, DE-HUMIDISTAT, OR EQUAL AUTOMATIC CONTROLS ON ALL EXHAUST FANS INCLUDING THE HALF-BATH.
 - MAKEUP AIR DAMPERS ARE TO BE GRAVITY OR ELECTRICALLY OPERATED TO OPEN WHEN THE EXHAUST SYSTEM OPERATES
 - FOLLOW ASHRAE STANDARD 62.2, WITH FLOOR AREA BETWEEN 1,501 to 3,000 S.F.
 - WITH ONE BEDROOM, 45 CFM IS REQUIRED. TABLE 4.12 AND IS THE SAME AS IMC TABLE.
 - M1507.3.3(1), CHAPTER 15

- PRIMARY HEAT SOURCE:**
- WARMBOARD RADIANT HEAT (DEFERRED SUBMITTAL DESIGN BY THE MFG.) 40% ON AVERAGE MORE EFFICIENT COMPARED TO FORCED AIR, PLUS ENHANCED AIR QUALITY

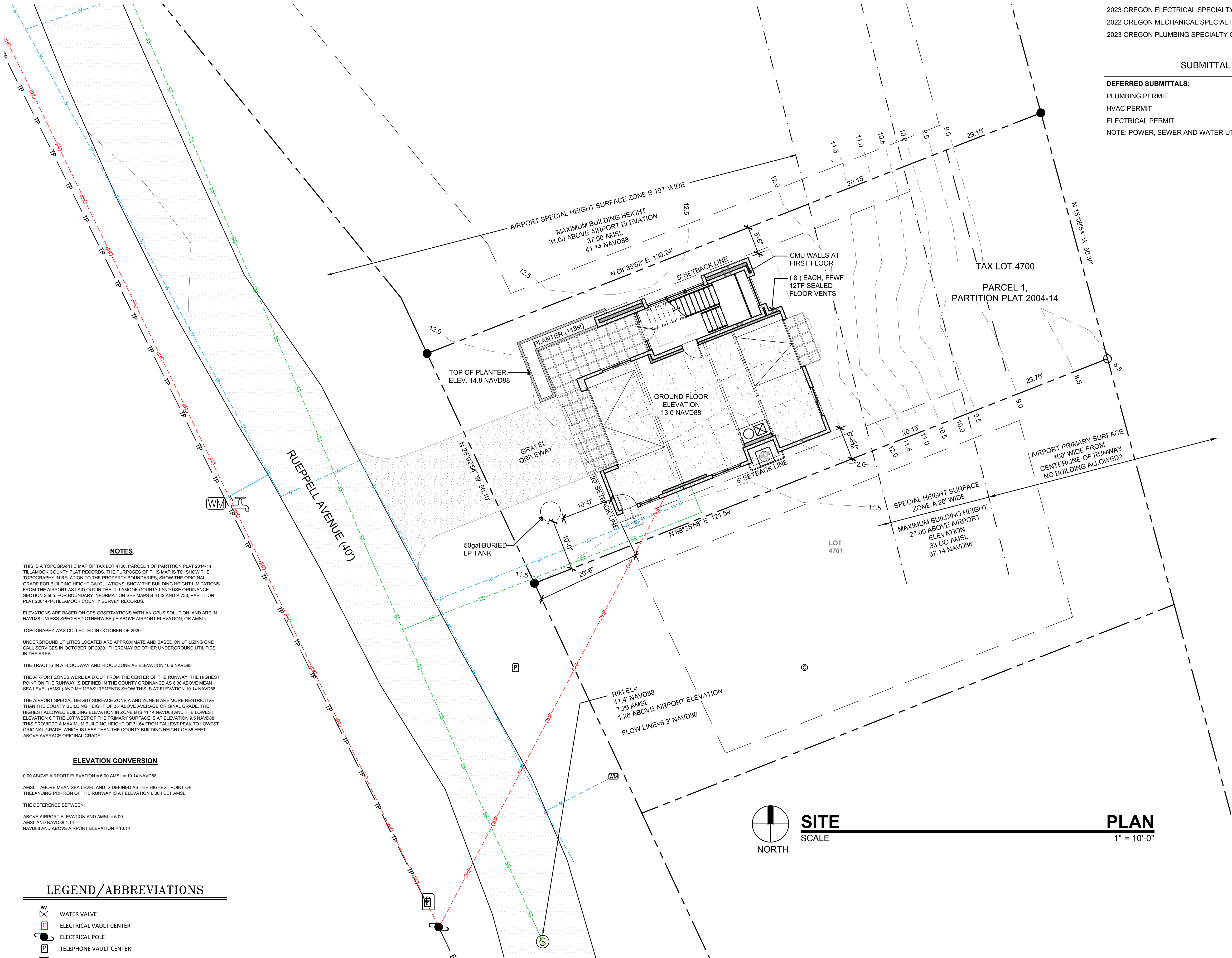
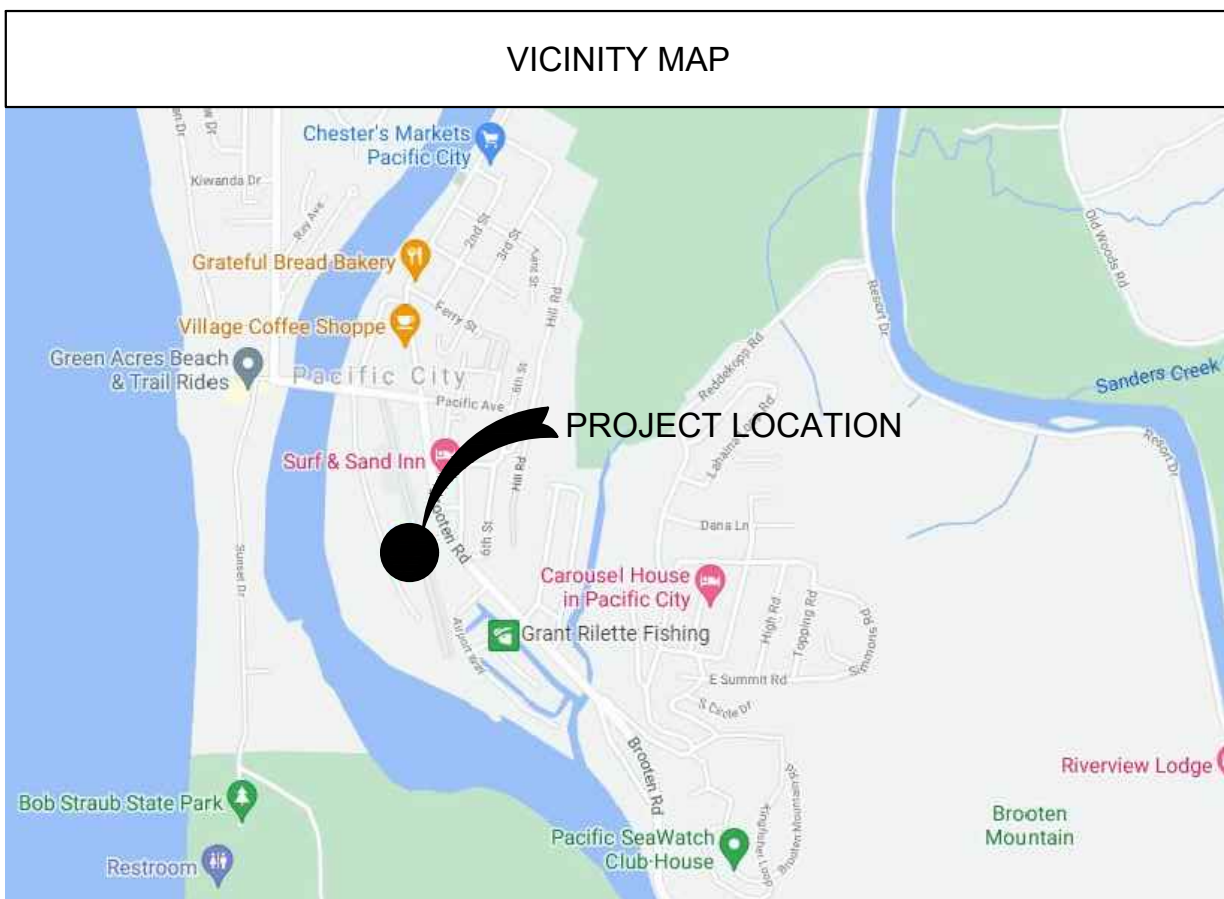
- HVAC SYSTEMS DUCTS LOCATED IN CONDITIONED SPACE:**
- R-6 INSULATED DUCTS MAY BE BURIED UNDER A MINIMUM OF R-19 INSULATION.
 - TAPE SHALL NOT BE USED TO SEAL METAL DUCTS. MASTIC IS REQUIRED.
 - WATER SUPPLY LINES TO BE INSULATED TO R-3 FOR 8 FT. IN AND 8 FT. OUT OF WATER HEATING SYSTEMS.

- HIGH EFFICIENCY HVAC SYSTEMS OPTIONS:**
- AIR SOURCE HEAT PUMP HSPF 10.0/14.0 SEER COOLING, OR
 - ELECTRIC HEAT PUMP WATER HEATER WITH MINIMUM 2.0 COP, OR
 - CENTRAL FURNACES TO HAVE ELECTRICALLY COMMUTATED MOTORS.

- | COMPONENTS WILL MEET THE FOLLOWING: | COMPONENTS PROPOSED: |
|---|----------------------|
| FENESTRATION: U-0.27 or LOWER | FENESTRATION: U-0.27 |
| SKYLIGHT: U-0.50 N/A | SKYLIGHT: U-55 |
| CEILING: R-49 | CEILING: R-59.1 |
| 6" WOOD FRAME WALL: R-21 | 6" WOOD WALL: R-21 |
| FLOOR: R-30 | FLOOR: R-30 |
| BELOW GRADE WALL R-VALUE: 10/15/21 INT + TB | B.G. WALL: R-10 |
| SLAB EDGE PERIMETER: R-15, 24" VERT or HORIZ. | SLAB: R-15 |

WINDOW AND DOOR HEADERS SHALL BE INSULATED TO A MINIMUM OF R-10

- AIR BARRIER CRITERIA:**
- (TABLE 1104.8) OR DEMONSTRATE AIR LEAKAGE OF NOT MORE THAN 4.0
 - ACH50 WITH A BLOWER DOOR TEST.
 - SEAL BETWEEN THE TOP PLATE AND INTERIOR WALL COVERING WHERE THE WALL CONTACTS WITH ROOF.



NOTES

THIS IS A TOPOGRAPHIC MAP OF TAX LOT 4700, PARCEL 1 OF PARTITION PLAT 2014-14, TILLAMOOK COUNTY PLAT RECORDS. THE PURPOSES OF THIS MAP IS TO SHOW THE TOPOGRAPHY IN RELATION TO THE PROPERTY BOUNDARIES. SHOW THE ORIGINAL GRADE FOR BUILDING HEIGHT CALCULATIONS. SHOW THE BUILDING HEIGHT LIMITATIONS FROM THE AIRPORT AS Laid OUT IN THE TILLAMOOK COUNTY LAND USE ORDINANCE SECTION 3.565, FOR BOUNDARY INFORMATION SEE MAPS B-4142 AND P-733, PARTITION PLAT 2004-14, TILLAMOOK COUNTY SURVEY RECORDS.

ELEVATIONS ARE BASED ON GPS OBSERVATIONS WITH AN OPUS SOLUTION, AND ARE IN NAVD88 UNLESS SPECIFIED OTHERWISE (E: ABOVE AIRPORT ELEVATION, OR AMSL).

TOPOGRAPHY WAS COLLECTED IN OCTOBER OF 2020.

UNDERGROUND UTILITIES LOCATED ARE APPROXIMATE AND BASED ON UTILIZING ONE CALL SERVICES IN OCTOBER OF 2020. THERE MAY BE OTHER UNDERGROUND UTILITIES IN THE AREA.

THE TRACT IS IN A FLOODWAY AND FLOOD ZONE AE ELEVATION 16.6 NAVD88

THE AIRPORT ZONES WERE Laid OUT FROM THE CENTER OF THE RUNWAY. THE HIGHEST POINT ON THE RUNWAY IS DEFINED IN THE COUNTY ORDINANCE AS 6.00 ABOVE MEAN SEA LEVEL (AMSL) AND MY MEASUREMENTS SHOW THIS IS AT ELEVATION 10.14 NAVD88

THE AIRPORT SPECIAL HEIGHT SURFACE ZONE A AND ZONE B ARE MORE RESTRICTIVE THAN THE COUNTY BUILDING HEIGHT OF 35' ABOVE AVERAGE ORIGINAL GRADE. THE HIGHEST ALLOWED BUILDING ELEVATION IN ZONE B IS 41.14 NAVD88 AND THE LOWEST ELEVATION OF THE LOT WEST OF THE PRIMARY SURFACE IS AT ELEVATION 8.5 NAVD88. THIS PROVIDED A MAXIMUM BUILDING HEIGHT OF 31.64 FROM TALLEST PEAK TO LOWEST ORIGINAL GRADE, WHICH IS LESS THAN THE COUNTY BUILDING HEIGHT OF 35 FEET ABOVE AVERAGE ORIGINAL GRADE.

ELEVATION CONVERSION

0.00 ABOVE AIRPORT ELEVATION = 6.00 AMSL = 10.14 NAVD88
AMSL = ABOVE MEAN SEA LEVEL AND IS DEFINED AS THE HIGHEST POINT OF THE LANDING PORTION OF THE RUNWAY IS AT ELEVATION 6.00 FEET AMSL
THE DIFFERENCE BETWEEN:
ABOVE AIRPORT ELEVATION AND AMSL = 6.00
AMSL AND NAVD88 4.14
NAVD88 AND ABOVE AIRPORT ELEVATION = 10.14

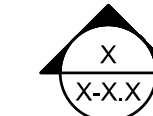
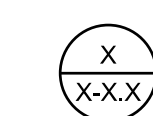
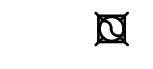
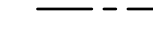
LEGEND/ABBREVIATIONS

- | | |
|-------|-----------------------------|
| WV | WATER VALVE |
| E | ELECTRICAL VAULT CENTER |
| ⊙ | ELECTRICAL POLE |
| P | TELEPHONE VAULT CENTER |
| WM | WATER METER |
| ⊙ | SANITARY SEWER MANHOLE |
| --- | LOT BOUNDARY |
| - - - | MSL SETBACK |
| --- | BUILDING SETBACK |
| --- | ASPHALT EDGE |
| --- | OVERHEAD ELECTRICAL LINE |
| --- | UNDERGROUND ELECTRICAL LINE |
| --- | SANITARY SEWER LINE |
| --- | MAJOR CONTOUR |
| --- | MINOR CONTOUR |
| --- | UNDERGROUND WATER LINE |
| --- | UNDERGROUND TELEPHONE LINE |

WALL LEGEND

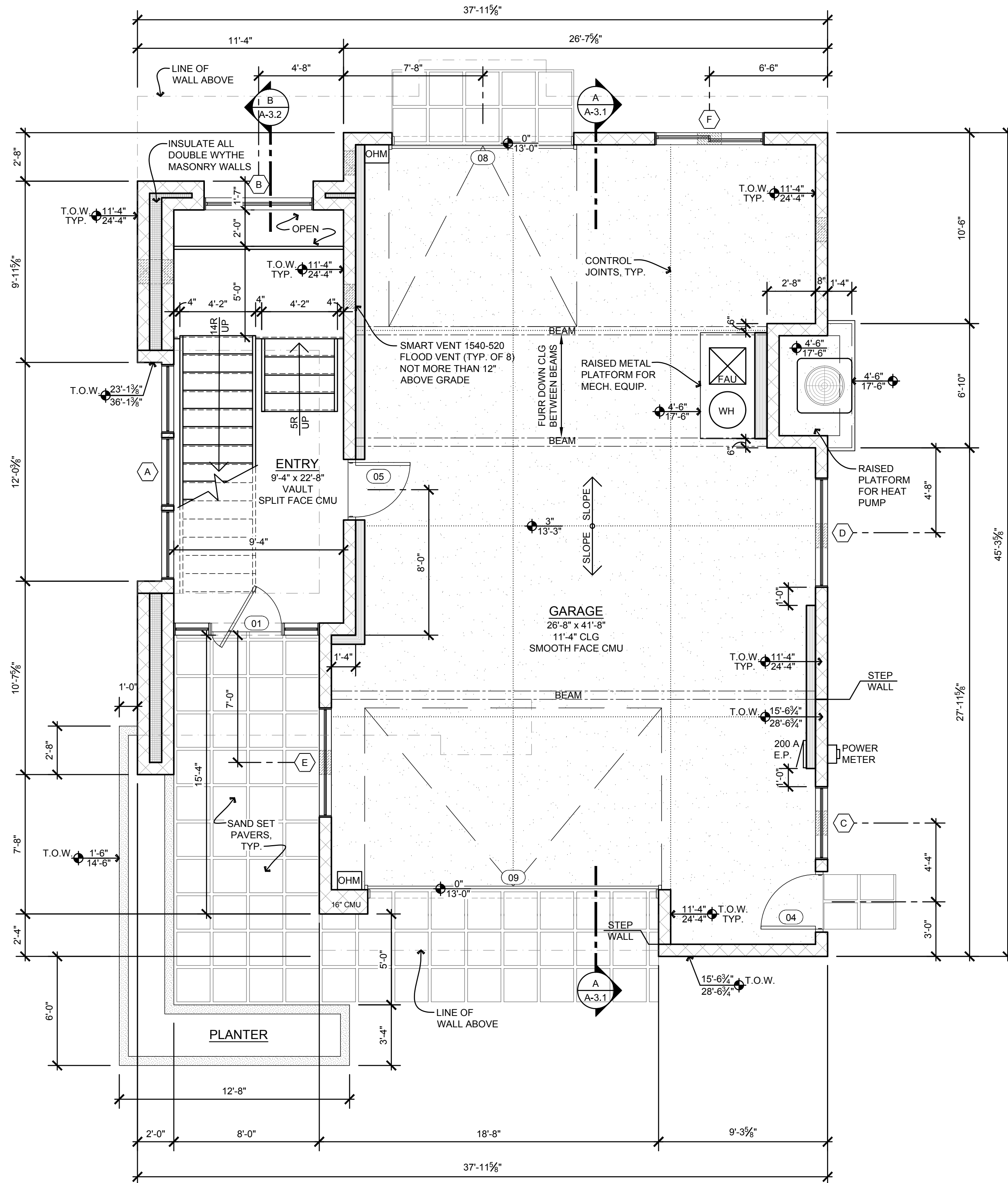
- 2x6 WALL w/ STUDS @ 16" o.c.
(2x8 WALL WHERE NOTED)
EXT. WALL: ½" PLY ON EXTERIOR FACE,
¾" GWB. o/ PVA VAPOR BARRIER ON INTERIOR FACE
INT. WALL: ¾" GWB. EA. SIDE (BEARING)
- 2x4 WALL w/ STUDS @ 16" o.c., ¾" GWB. EA. SIDE
(2x6) WHERE NOTED
- 8"x16" CMU WALL, UNLESS NOTED OTHERWISE
- 6" & 8" EQ. COATED METAL STUDS w/ 5" POLY ISO
INSULATION w/ MARINE PLYWOOD SHEETING,
MITER RETURN @ EXPOSED EDGES

SYMBOL LEGEND

-  WALL SECTION
-  DETAIL DESIGNATION
-  SMOKE / CO* DETECTOR
-  EXHAUST FAN (110 CFM, TYPICAL)
-  CENTER LINE

GENERAL NOTES

- ALL WORK SHALL COMPLY WITH APPLICABLE CODES:
• 2018 INTERNATIONAL RESIDENTIAL CODE (IRC)
- CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING
WITH ALL STATE AND LOCAL BUILDING CODES AND
AMENDMENTS THAT APPLY TO THIS PROJECT.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND
CONDITIONS BEFORE STARTING WORK.
- DIMENSIONS ARE FROM FACE OF STUD OR OUTSIDE FACE
OF FOUNDATION, U.N.O.
- DOORS ARE 3.5" FROM ADJACENT WALL OR CENTERED IN
HALLWAY UNLESS NOTED OTHERWISE.
- VERIFY ALL DOOR/WINDOW AND FRAME DIMENSIONS PRIOR
TO INSTALLATION, DOOR AND WINDOW DIMENSIONS ARE
NOMINAL.
- PROVIDE SOLID BLOCKING IN WALLS AS REQUIRED FOR
WALL MOUNTED ITEMS (I.E. TOILET ACCESSORIES), TYPICAL.
- ALL ELECTRICAL AND MECHANICAL SYSTEMS MUST BE A
MINIMUM 18.0 NVAD88. (6" ABOVE FREE BOARD ELEVATION)
- ALL DOORS, OH AND MAN DOORS ON THE FIRST FLOOR ARE
STEEL FRAME & STEEL DOOR BLANKS WITH POLY INSULATED
CORES.
- ALL FRAMED WALL SYSTEMS ON THE FIRST FLOOR ARE
COMPRISED OF:
A) 600S126-18 EQ20 (20 GAGE REACTIVE POLYMER
CONVERSION COATING), FRAMING MEMBERS.
B) XPS INSULATION
C) DENGSLASS WALL SHEETING.



FIRST
SCALE

FLOOR

PLAN

1/4" = 1'-0"

AREAS

FIRST FLOOR GARAGE:	1196.5 S.F.
FIRST FLOOR LIVING:	281.5 S.F.
SECOND FLOOR LIVING:	1304.5 S.F.
SECOND FLOOR PATIO:	370.5 S.F.
TOTAL:	3153 S.F.



PO Box 28993
Seattle, WA 98118

425.417.7772

2x6 WALL w/ STUDS @ 16" o.c.
(2x8 WALL WHERE NOTED)

EXT. WALL: ¾" PLY ON EXTERIOR FACE,
¾" GWB, 0' PVA VAPOR BARRIER ON INTERIOR FACE
INT. WALL: ¾" GWB, EA. SIDE (BEARING)

2x4 WALL w/ STUDS @ 16" o.c., ¾" GWB, EA. SIDE
(2x6) WHERE NOTED

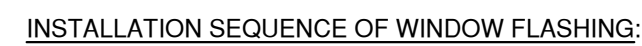
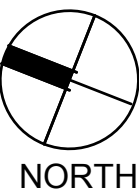
8"x16" CMU WALL, UNLESS NOTED OTHERWISE

6" & 8" EQ. COATED METAL STUDS w/ 5" POLY ISO
INSULATION w/ MARINE PLYWOOD SHEETING,
MITER RETURN @ EXPOSED EDGES

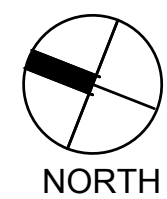
	WALL SECTION
	DETAIL DESIGNATION
	SMOKE / CO² DETECTOR
	EXHAUST FAN (110 CFM, TYPICAL)
	CENTER LINE

1. ALL WORK SHALL COMPLY WITH APPLICABLE CODES:
 - 1308 INTERNATIONAL RESIDENTIAL CODE (IRC)
2. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL STATE AND LOCAL BUILDING CODES AND AMENDMENTS THAT APPLY TO THIS PROJECT.
3. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE STARTING WORK.
4. DIMENSIONS ARE FROM FACE OF STUD OR OUTSIDE FACE OF FOUNDATION, U.N.O.
5. DOORS ARE 3.5" FROM ADJACENT WALL OR CENTERED IN HALLWAY UNLESS NOTED OTHERWISE.
6. VERIFY ALL DOOR/WINDOW AND FRAME DIMENSIONS PRIOR TO INSTALLATION. DOOR AND WINDOW DIMENSIONS ARE NOMINAL.
7. PROVIDE SOLID BLOCKING IN WALLS AS REQUIRED FOR WALL MOUNTED ITEMS (I.E. TOILET ACCESSORIES), TYPICAL.
8. ALL ELECTRICAL AND MECHANICAL SYSTEMS MUST BE A MINIMUM 18.0 NVD88. (6" ABOVE FLOOR BOARD ELEVATION)
9. ALL DOORS, OH AND MAN DOORS ON THE FIRST FLOOR ARE STEEL FRAME & STEEL DOOR BLANKS WITH POLY INSULATED CORES.
10. ALL FRAMED WALL SYSTEMS ON THE FIRST FLOOR ARE COMPRISED OF:
 - A) 600S 126-18 EQ20 (20 GAGE REACTIVE POLYMER CONVERSION COATING), FRAMING MEMBERS.
 - B) XPS INSULATION
 - C) DENSGLASS WALL SHEETING.

1. COORDINATE ROOF PENETRATIONS WITH MECHANICAL AND PLUMBING SUBCONTRACTORS.
2. THE ENTIRE ROOF SYSTEM IS TO BE DESIGNED BY AN OREGON LICENSED STRUCTURAL ENGINEER. ARCHITECTURAL DRAWINGS ARE FOR DESIGN GUIDANCE ONLY.
3. VERIFY ALL DRAINAGE FROM ROOF IS FUNCTIONING AND DRAINING WITHOUT WATER INTRUSION.
4. PROVIDE GALVANIZED PRE-FINISHED FLASHINGS, COUNTER-FLASHINGS, REGLETS, DRIP-EDGES, VENTS, AND COPINGS OF A MIN. 22 GAUGE. (COLOR SELECTED BY OWNER)
5. UNLESS OTHERWISE NOTED, ALL ROOF AREAS ARE TO BE INSULATED WITH MINIMUM R-49 BATT INSULATION.



1. MECHANICALLY FASTENED WEATHER BARRIER, WRAP INTO SILL PLATE AND JAMBS
2. CUT HEAD FLAP AT 45° TO EXPOSE 8" OF SHEATHING. HOLD FLAP UP FOR INSTALLATION ON WINDOW AND FLASHING
3. INSTALL FLEXIBLE PAN FLASHING TO COVER THE SLOPED SILL / THRESHOLD, WALL FACE, AND EACH JAMB.
4. INSTALL A FLEXIBLE CORNER FLASHING
5. INSTALL THE WINDOW (SHIM, PLUM AND CENTER)
6. INSTALL FLEXIBLE FLASHING TO COVER THE FLANGE AND WALL ALONG EACH JAMB AND ABOVE THE HEAD AND BELOW THE SILL
7. LAY HEAD FLAP OVER FLASHING



NORTH

1 TYPE SCALE

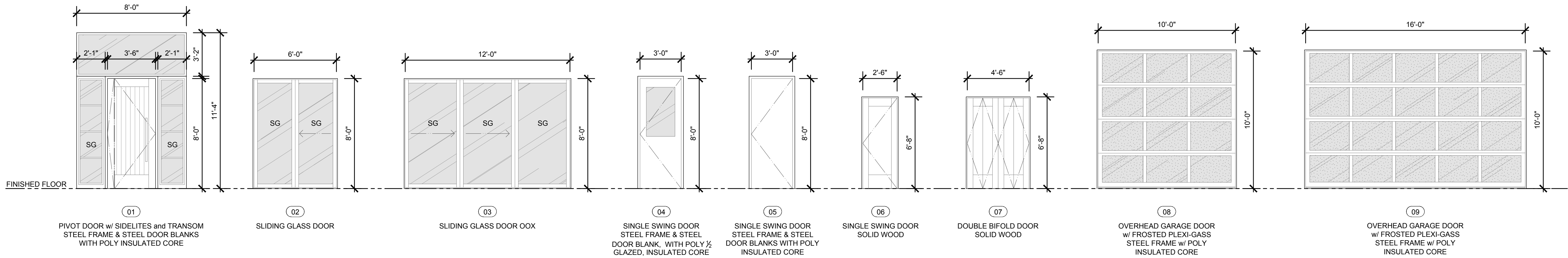
DAVE and PATTI COULTER
TAX LOT 4700
PACIFIC CITY, TILLAMOOK COUNTY, OREGON

MANAGEMENT.

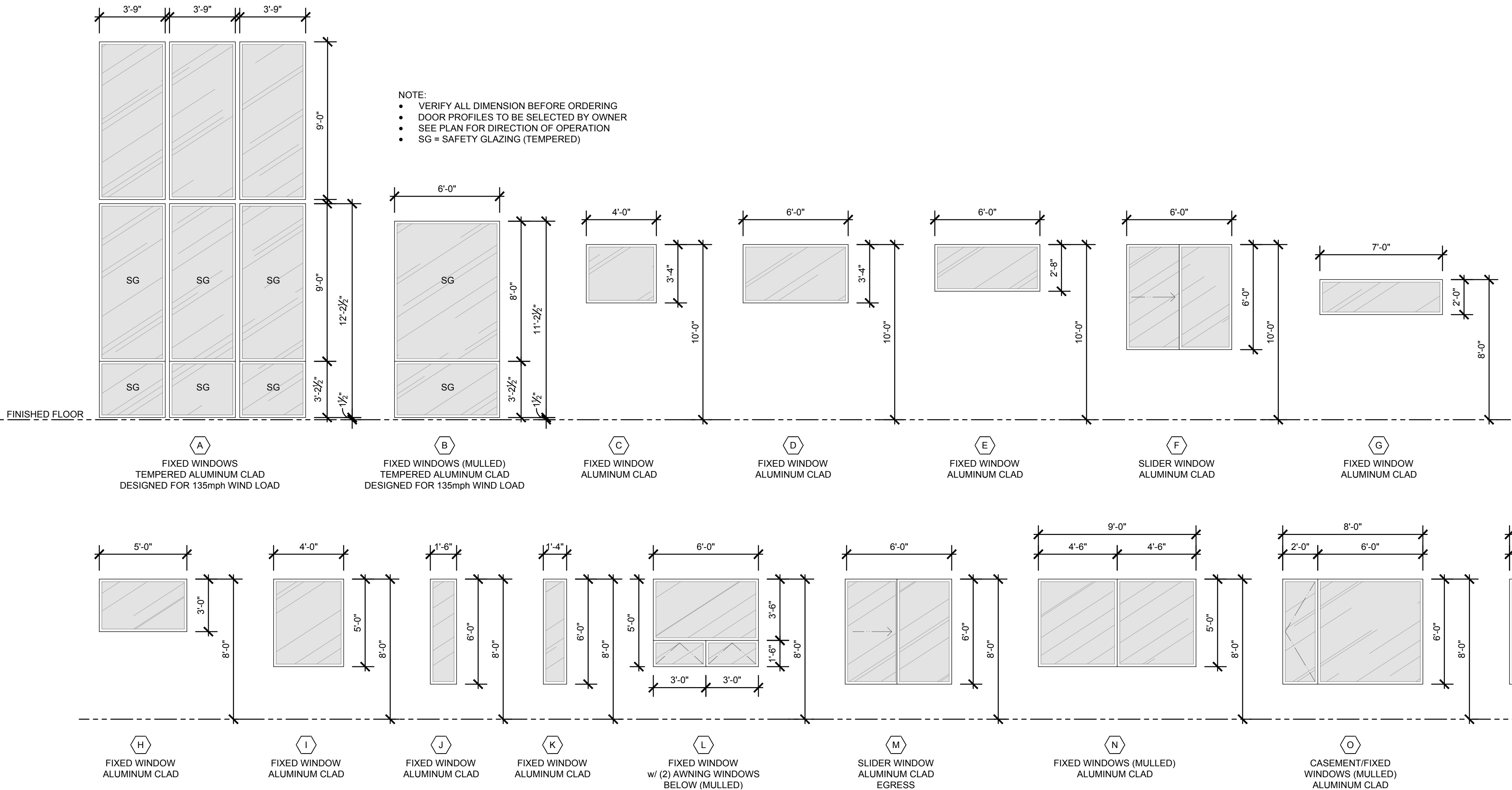
Project No: XXXX
Drawn: MEC
Checked By: TEC
Date: April 04, 2025
REV. 1:
REV. 2:

A-1.2

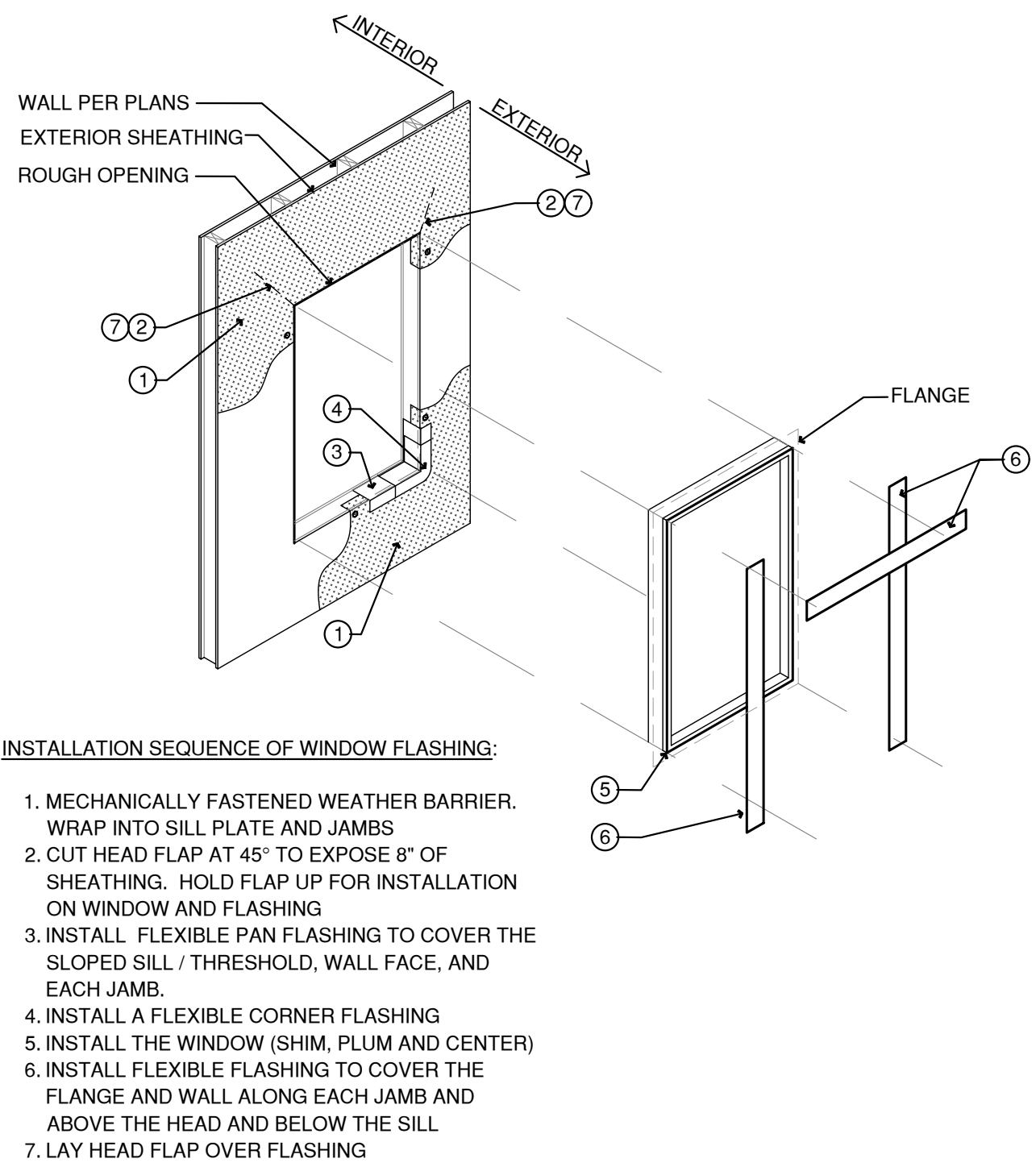
ERMIT SET
@madisonmbi.com



DOOR
SCALE
SCHEDULE
1/4" - 1'-0"



WINDOW
SCALE
SCHEDULE
1/4" - 1'-0"



1 TYPICAL FLASHING DETAIL
SCALE NTS



NORTH
SCALE
ELEVATION
NONE



NW
SCALE
ELEVATION
NONE



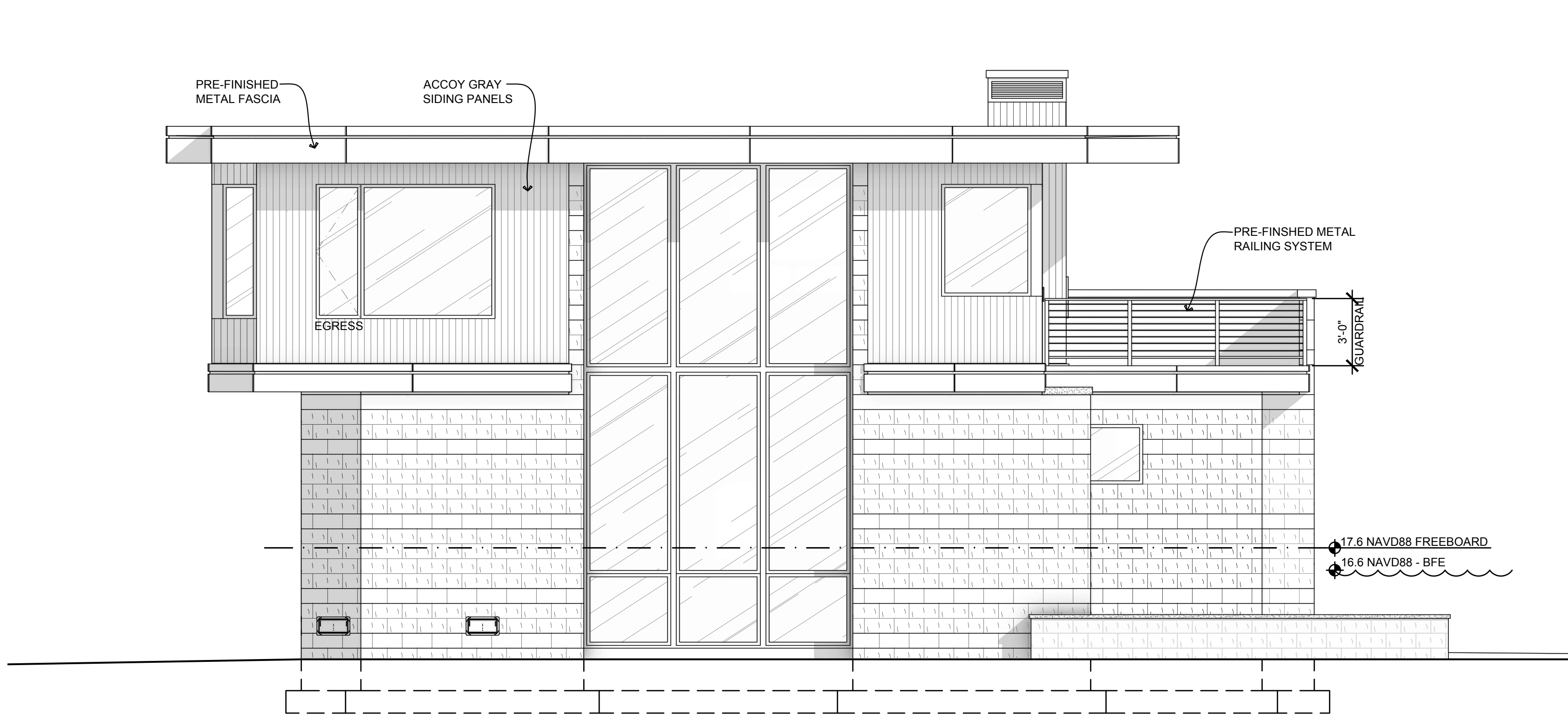
EAST
SCALE
ELEVATION
NONE



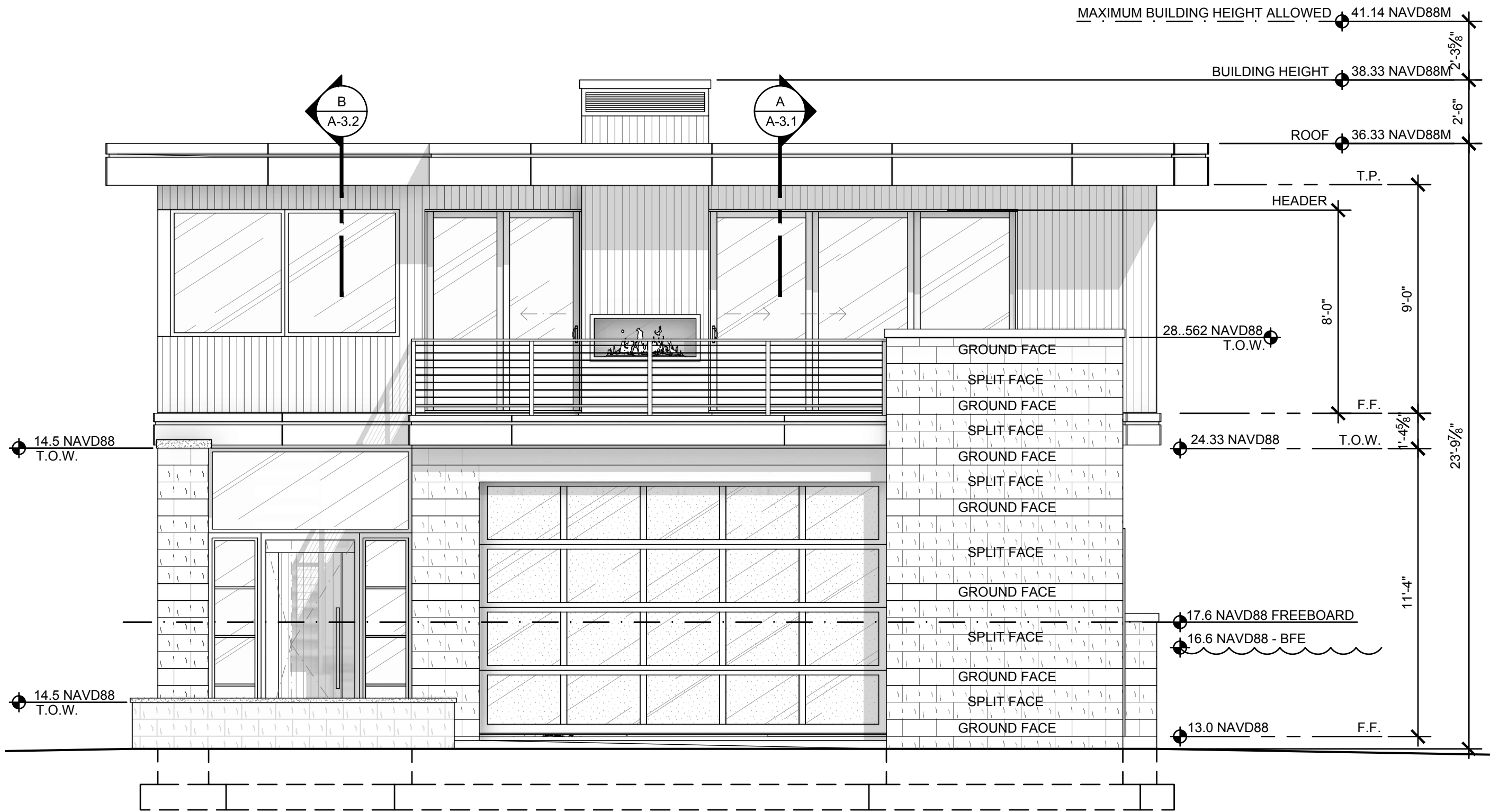
WEST
SCALE
ELEVATION
NONE



SOUTH
SCALE
ELEVATION
NONE



NORTH ELEVATION
SCALE 1/4" = 1'-0"



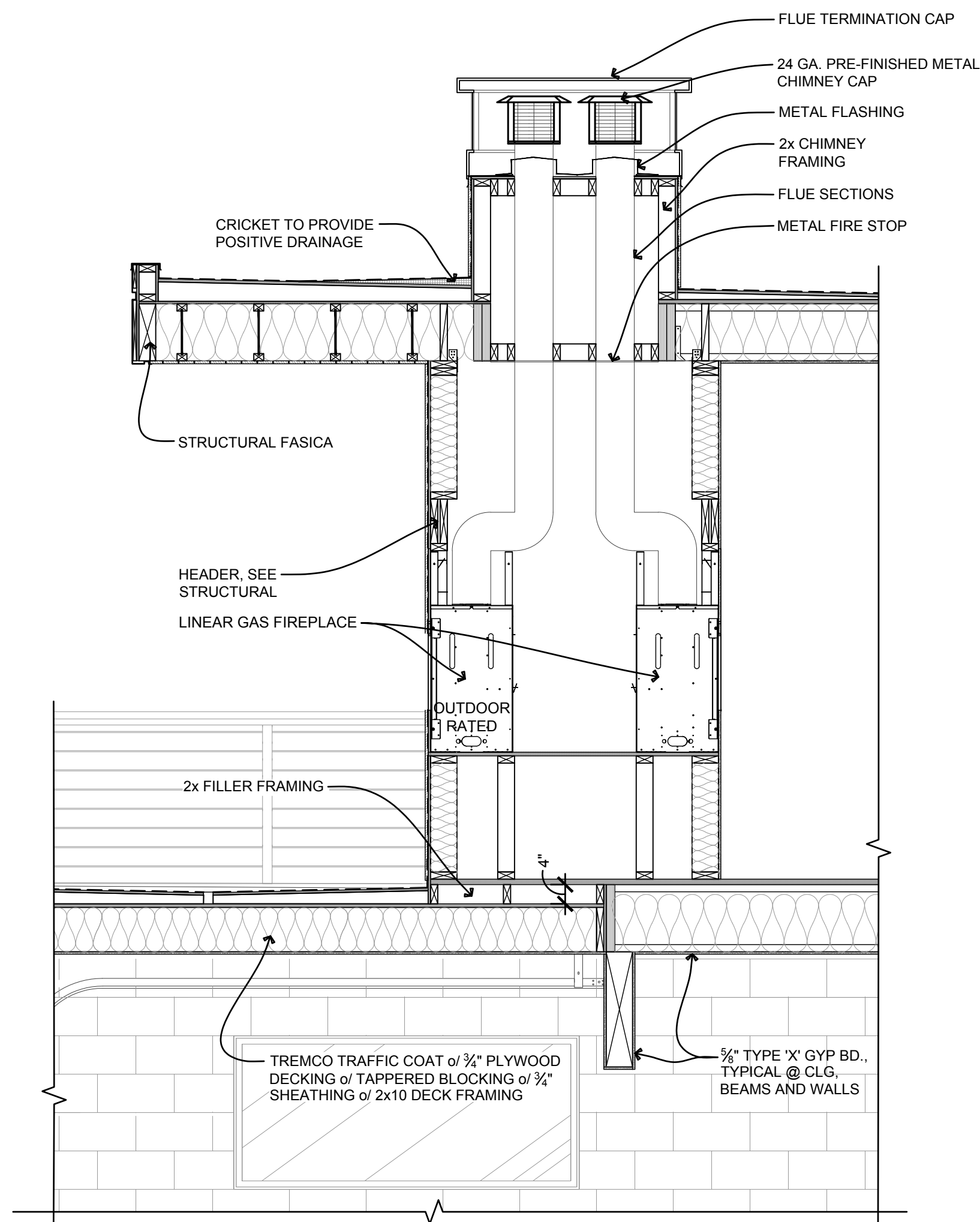
WEST ELEVATION
SCALE 1/4" = 1'-0"



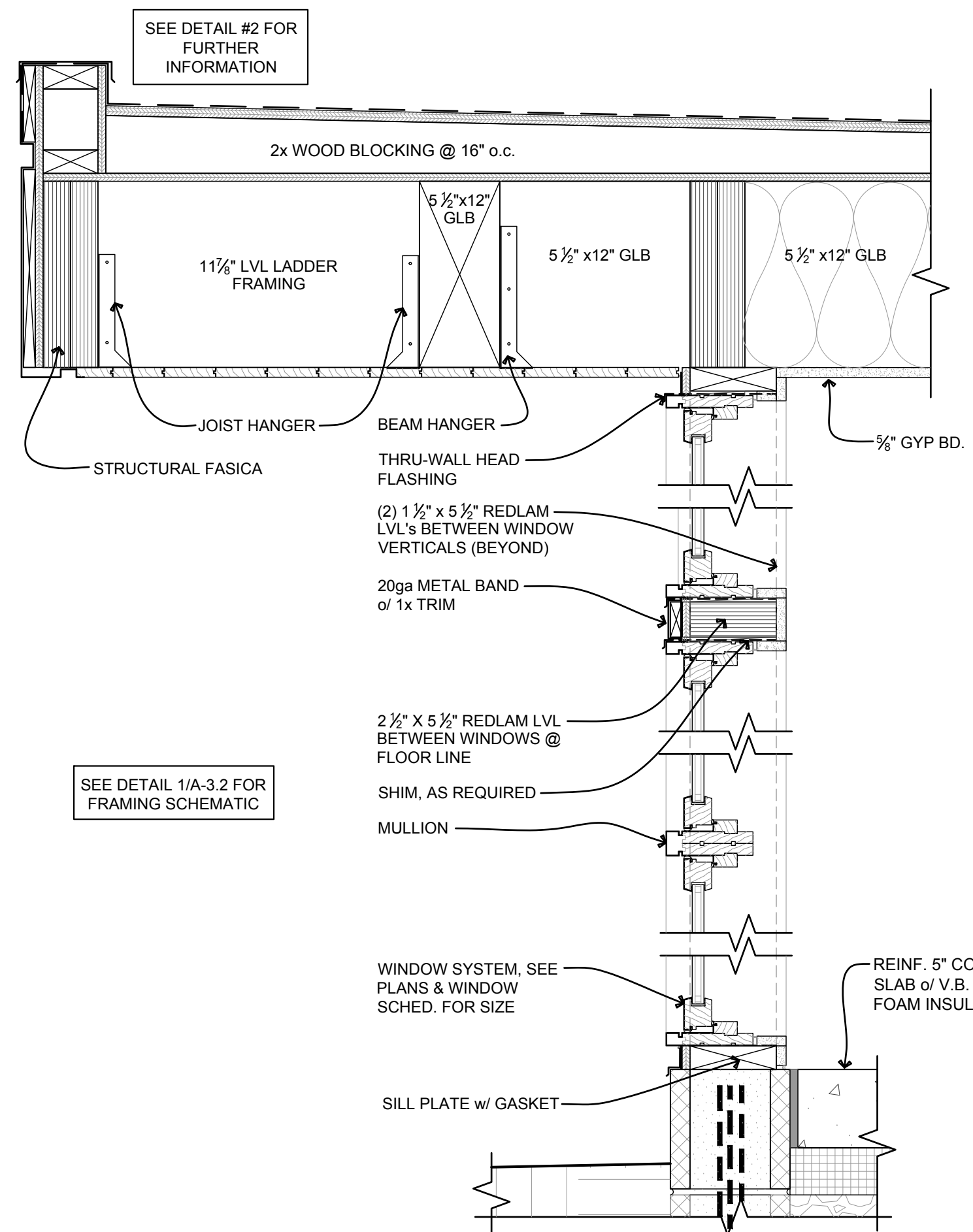
SOUTH ELEVATION
SCALE 1/4" = 1'-0"



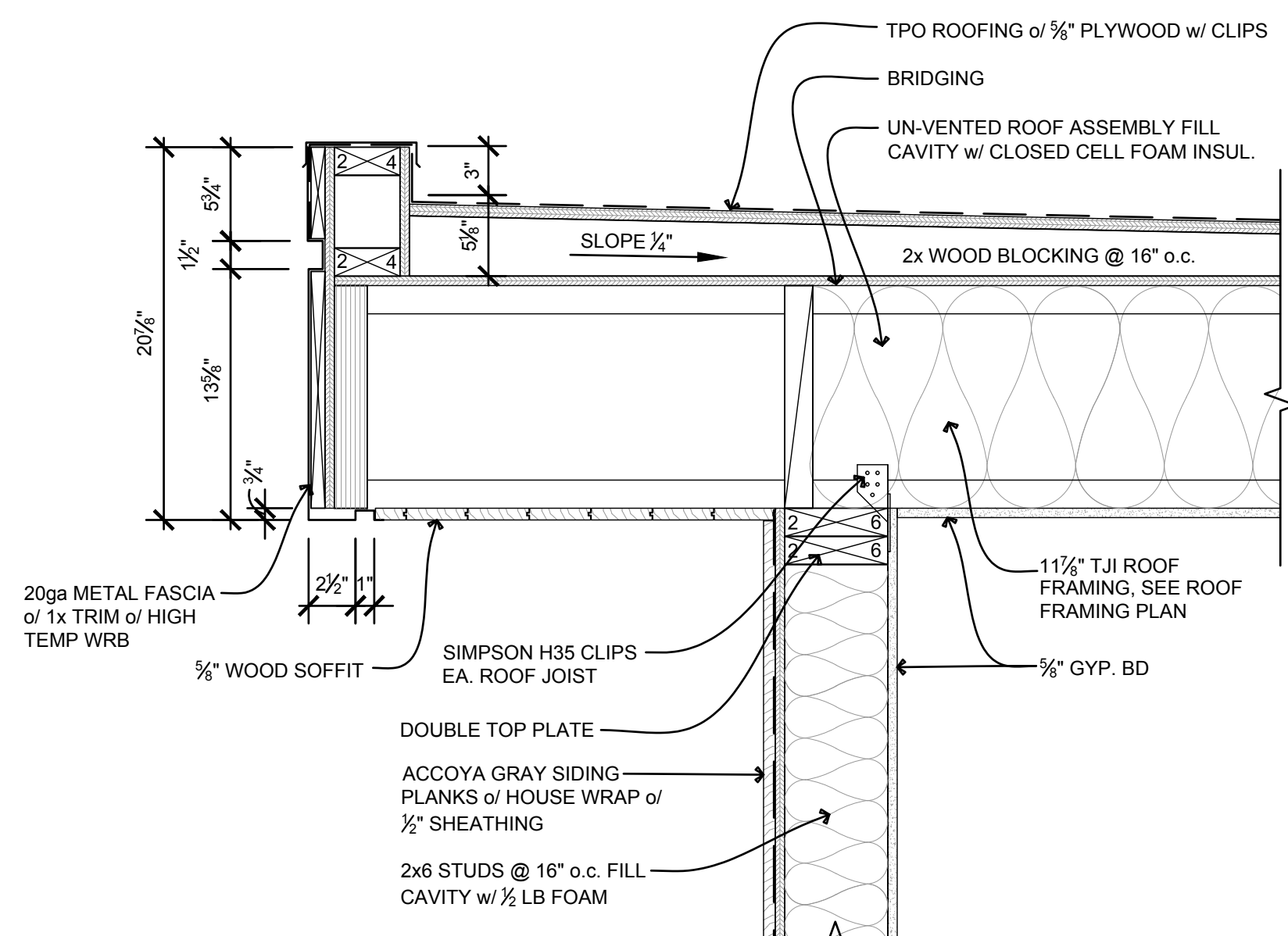
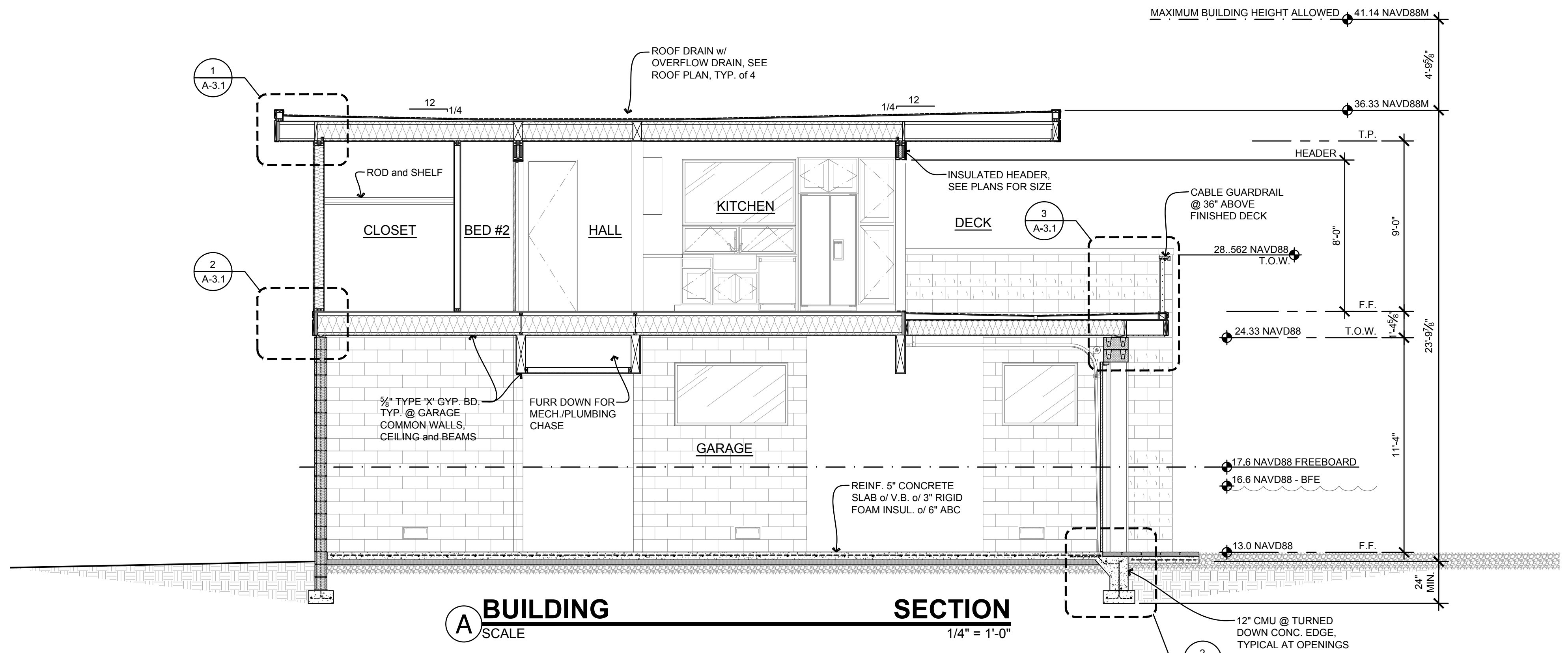
EAST ELEVATION
SCALE 1/4" = 1'-0"



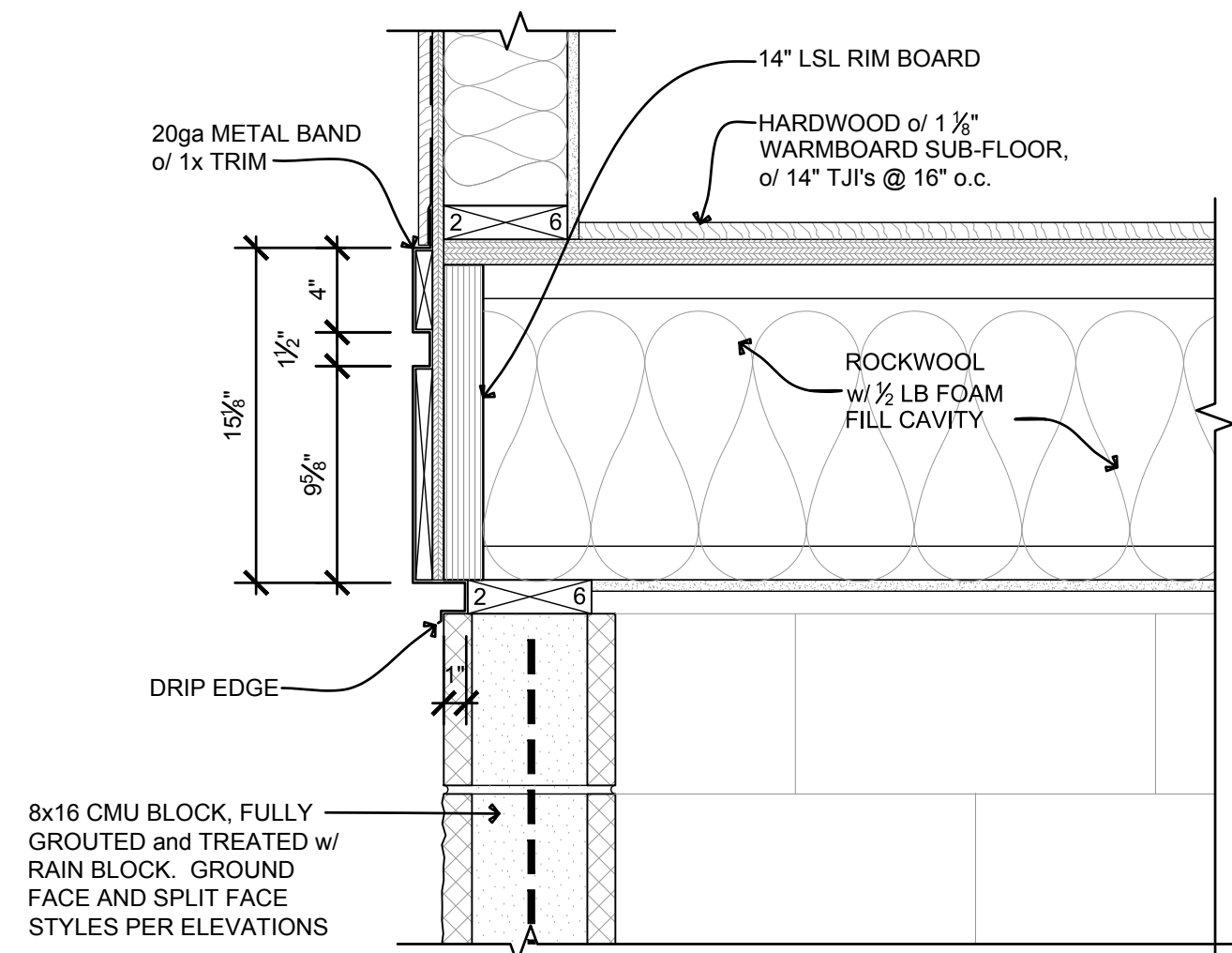
4 FIREPLACE
SCALE 1/2" = 1'-0"



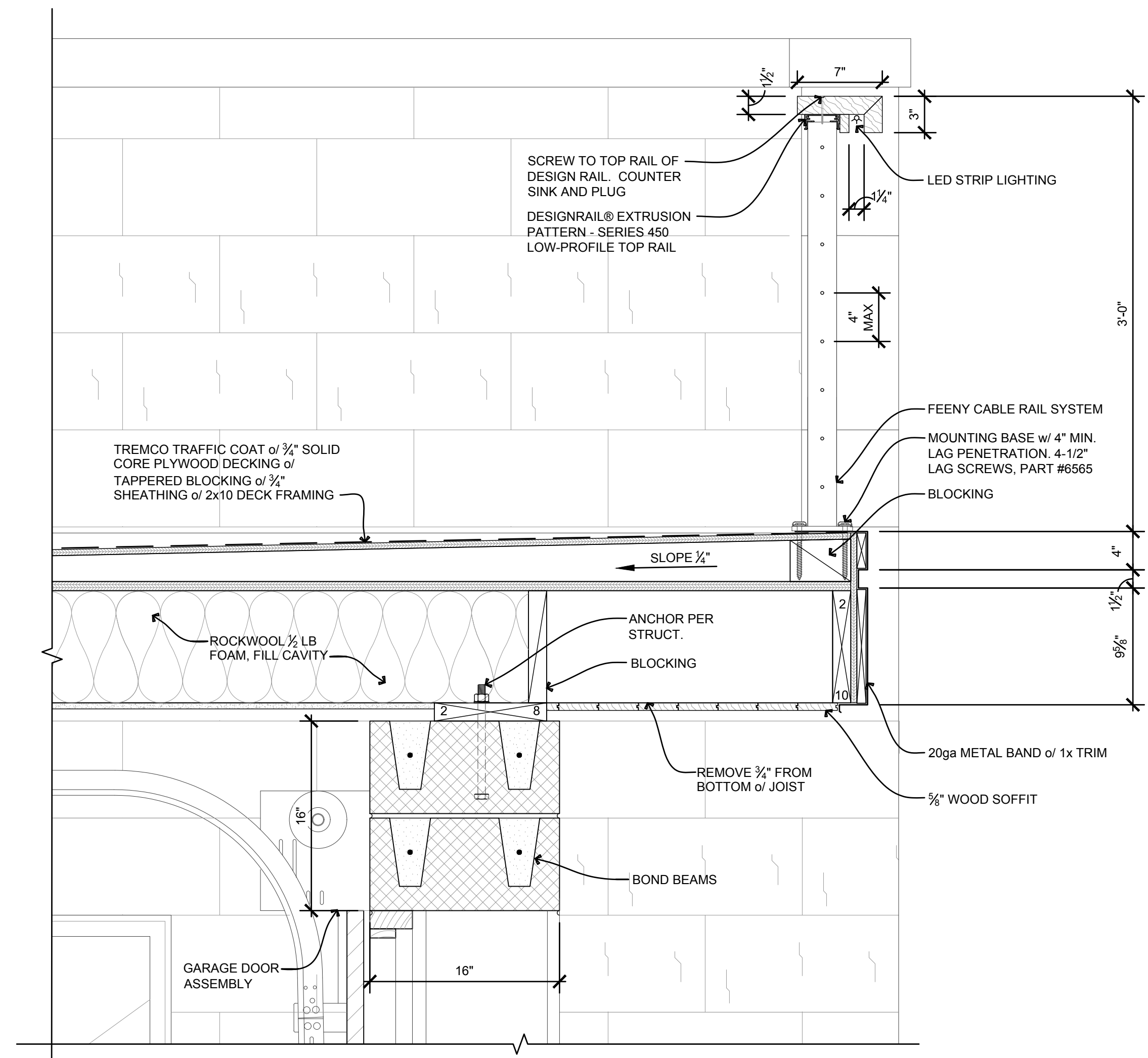
5 OVERHANG @ FULL HT WINDOW DETAIL
SCALE 1-1/2" = 1'-0"



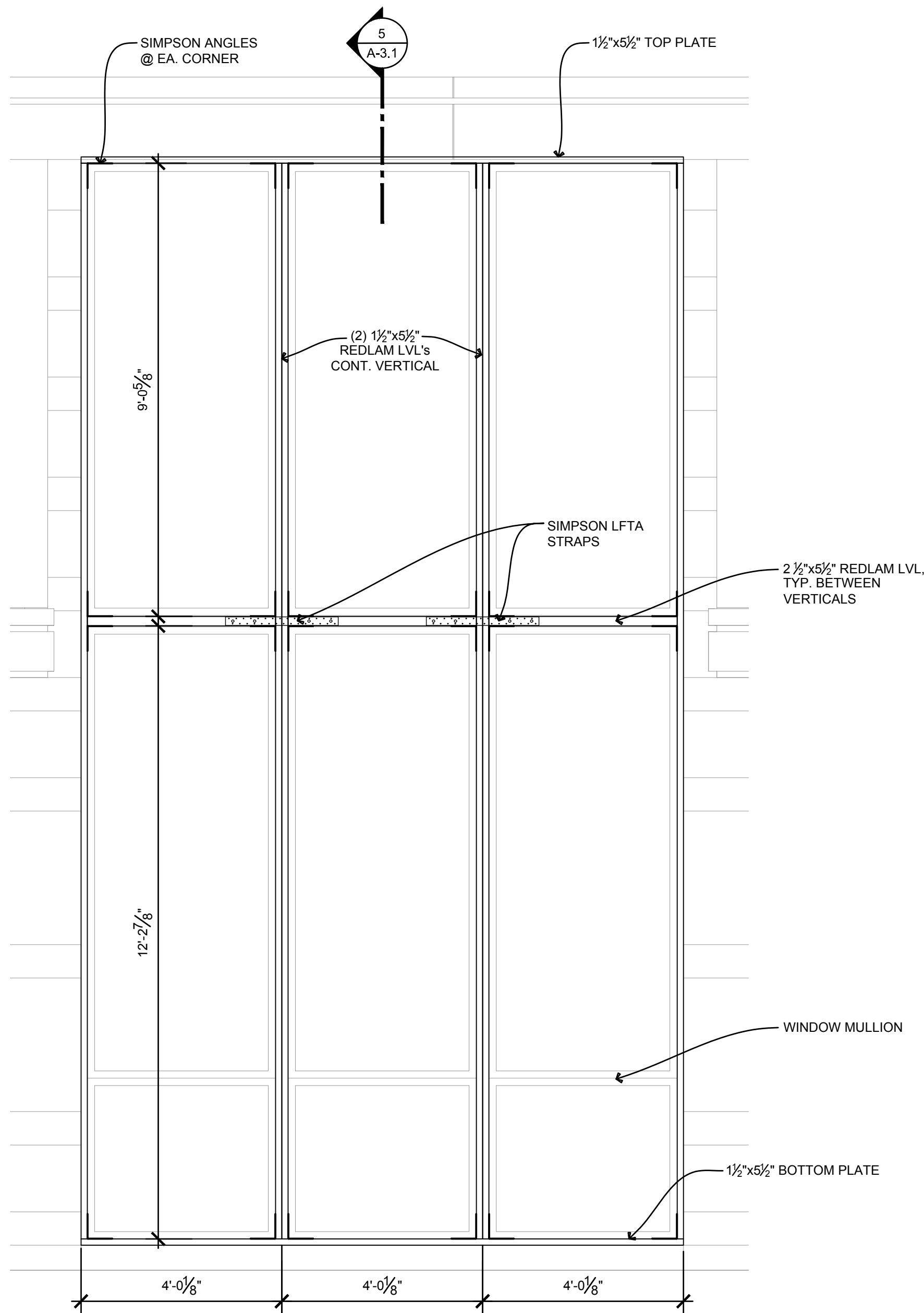
2 OVERHANG
SCALE 1-1/2" = 1'-0"



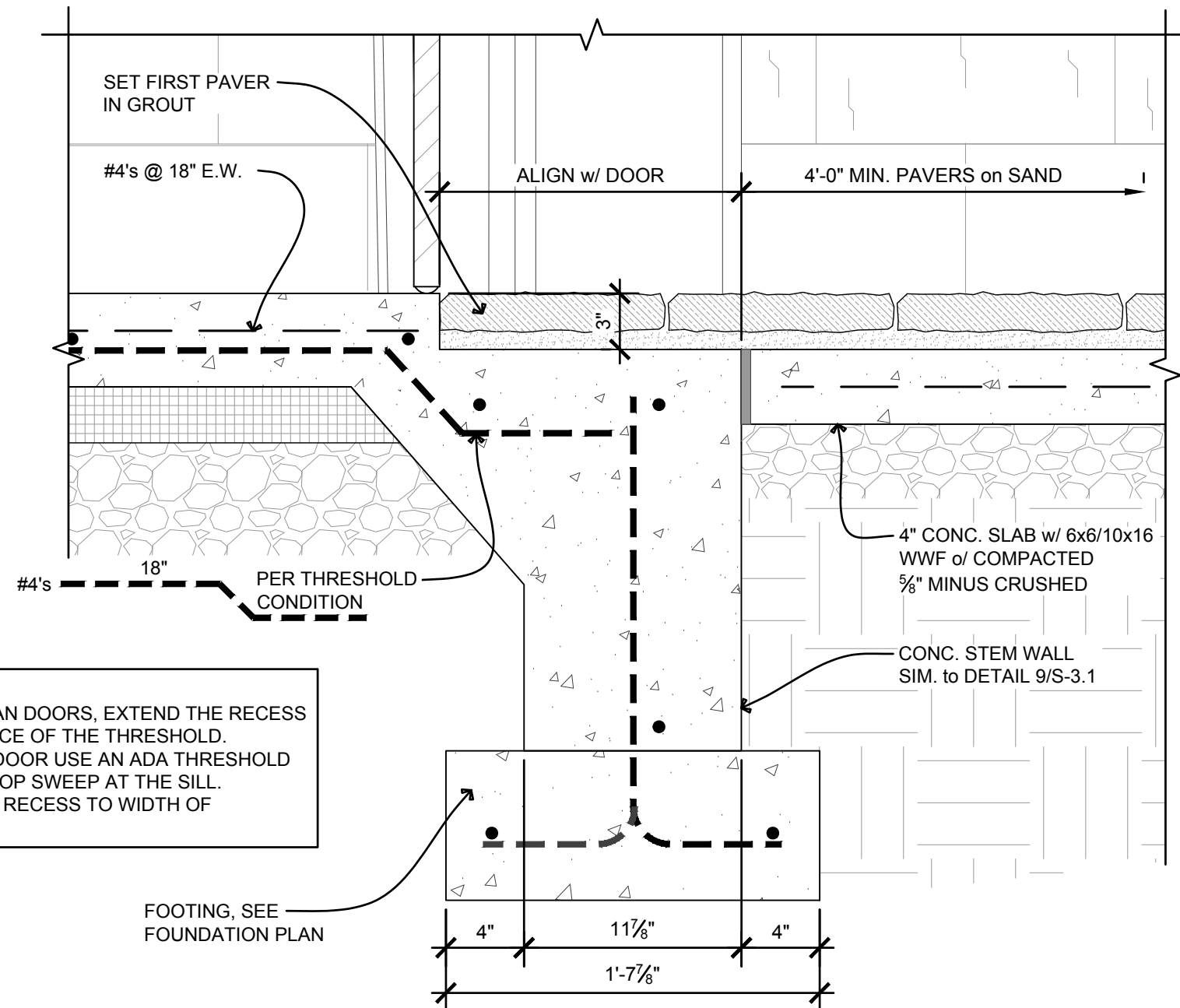
3 BAND and FLOOR
SCALE 1-1/2" = 1'-0"



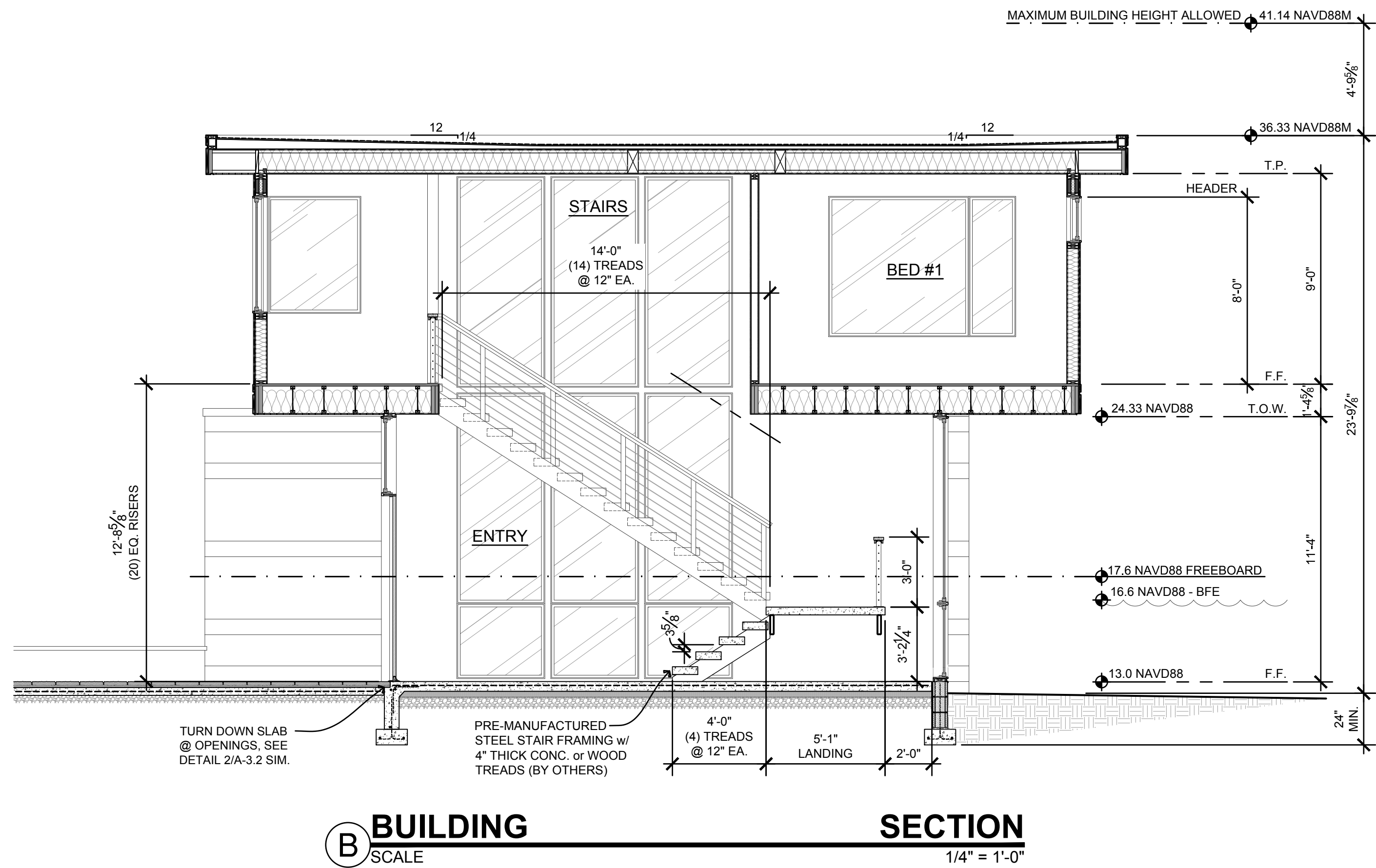
1 RAILING and GARAGE DOOR HEADER DETAIL
SCALE 1-1/2" = 1'-0"



1 FRAMING @ FLOOR TO CEILING SCHEMATIC
SCALE 1/2" = 1'-0"



2 TYP. TURN DOWN SLAB DOOR DETAIL
SCALE 1-1/2" = 1'-0"



SMOKE DETECTOR NOTES

- 1 PROVIDE SMOKE DETECTOR AT EACH SLEEPING ROOM AND AT A POINT CENTRALLY LOCATED IN THE CORRIDOR GIVING ACCESS TO EACH SEPARATE SLEEPING AREA. SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACKUP. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECT SWITCH OTHER THAN REQUIRED FOR OVER CURRENCY PROTECTION. ALL SMOKE DETECTORS ARE TO BE WIRED TOGETHER ON ONE CIRCUIT AND DESIGNED FOR ALL DETECTORS TO SOUND IF ONE DETECTOR IS ACTIVATED.
- 2 SMOKE DETECTORS INSTALLED WITHIN A 20' HORIZONTAL PATH OF THE KITCHEN SHALL BE EQUIPPED WITH AN ALARM SILENCING MEANS OR BE PHOTOELECTRIC TYPE DETECTOR.
- 3 SMOKE DETECTORS SHALL NOT BE INSTALLED WITHIN 3' OF THE BATHROOM DOORS
- 4 SMOKE DETECTORS SHALL NOT BE INSTALLED WITHIN 3' OF FORCED SUPPLY AIR REGISTERS AND SHALL BE INSTALLED OUTSIDE OF DIRECT AIRFLOW
- 5 SMOKE DETECTORS SHALL NOT BE INSTALLED WITHIN 3' FROM THE TIP OF CEILING FANS

PLUMBING LEGEND

- ⊕ GAS PROPANE GAS
↑ HB HOSE BIB: POTABLE WATER

ELECTRICAL NOTES

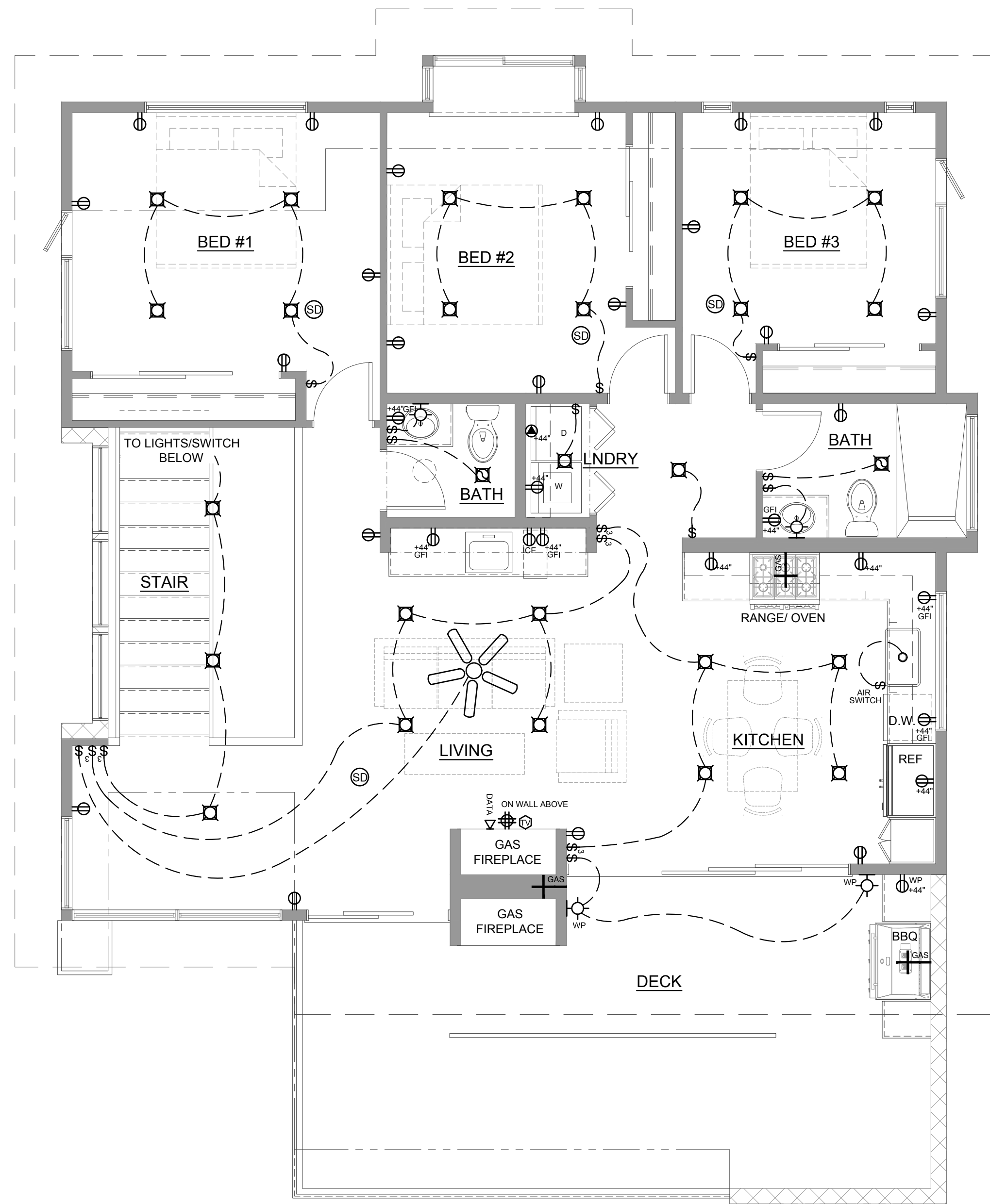
- 1 CONTRACTOR SHALL MEET ALL THE REQUIREMENTS OF THE 2006 NATIONAL ELECTRICAL CODE, INTERNATIONAL RESIDENTIAL CODE, AND LOCAL ENERGY CODE.
- 2 CONTRACTOR SHALL COORDINATE ELECTRICAL WORK WITH LOCAL POWER COMPANY.
- 3 ALL BREAKERS SUPPLYING MECHANICAL EQUIPMENT SHALL BE HACR RATED.
- 4 CONTRACTOR SHALL COORDINATE ELECTRICAL SYSTEMS INSTALLATION TO AVOID CONFLICTS WITH DUCT WORK/PIPING AND OTHER TRADES.
- 5 ALL 120V, SINGLE PHASE BREAKERS SUPPLYING CIRCUITS SHALL BE PROVIDED WITH ARC-FAULT PROTECTION, EXCEPT WHERE NOT REQUIRED AHJ.
- 6 ALL ELECTRICAL AND MECHANICAL SYSTEMS MUST BE A MINIMUM 18.0 NVAD88. (6" ABOVE FREE BOARD ELEVATION)
- 7 WALL RECEPTACLES SHALL BE INSTALLED WITH THE FOLLOWING PROVISIONS:
GENERAL ROOMS:
- EVERY 12'
- ON ANY WALL SPACE MORE THAN 24" WIDE
- HALLWAYS MORE THAN 10'
- ON ANY WALL SPACE MORE THAN 24" WIDE
BATHROOMS:
- RECEPTACLES MUST BE GFCI
- WITHIN 3' OF THE OUTSIDE EDGE OF SINK BASIN
- NO RECEPTACLE FACE UP ON COUNTER
KITCHEN:
- NO RECEPTACLES MORE THAN 20" ABOVE COUNTERTOPS.
- ABOVE COUNTERTOPS 12" OR WIDER
- NO FACE-UP RECEPTACLES
- AT LEAST ONE RECEPTACLE FOR ISLANDS OR PENINSULAS
- AT LEAST TWO BRANCH CIRCUITS MUST SUPPLY THE COUNTERTOP RECEPTACLES
GARAGE OUTLETS TO BE CONNECTED w/ EXPOSED CONDUIT @ CMU.

ELECTRICAL LEGEND

- ⊕ SMOKE/CO² DETECTOR
\$ LIGHT SWITCH
\$³ THREE WAY SWITCH
\$⁴ FOUR WAY SWITCH
⏏ GARAGE DOOR OPENER BUTTON
DATA DATA JACK
TV TELEVISION CABLE
DISP GARBAGE DISPOSAL
⊕ DUPLEX OUTLET
CLG DUPLEX OUTLET, CEILING MOUNTED
⊕ SWITCHED DUPLEX OUTLET (TOP ONLY)
GFI DUPLEX OUTLET w/ GFI
WFI WATER PROOF DUPLEX OUTLET w/ GFI
⊕ QUAD OUTLET
FO FLOOR OUTLET
SPECIAL OUTLET AS REQUIRED
240V DEDICATED 240V 4-WIRE CIRCUIT
⊕ CEILING MOUNTED LIGHT FIXTURE
⊕ WALL MOUNTED LIGHT FIXTURE
WFI WALL MOUNTED EXTERIOR LIGHT FIXTURE
⊕ FLUSH MOUNTED LED CAN LIGHT
WFI WATER PROOF LED CAN LIGHT
⊕ EXHAUST FAN (110 CFM, U.N.O.), FAN/LIGHT COMBO WHERE NOTED
⊕ LV LOW VOLTAGE PENDANT LIGHT
⊕ WALL SCONCE
⊕ THRU-WALL FAN EXHAUST FAN (110 CFM, U.N.O.)
⊕ EXHAUST FAN (110 CFM, U.N.O.)
⊕ SURFACE MOUNTED LED LIGHT FIXTURE
⏏ GARAGE DOOR OPENER

- ⊕ CHANDELIER/ SUSPENDED FIXTURE

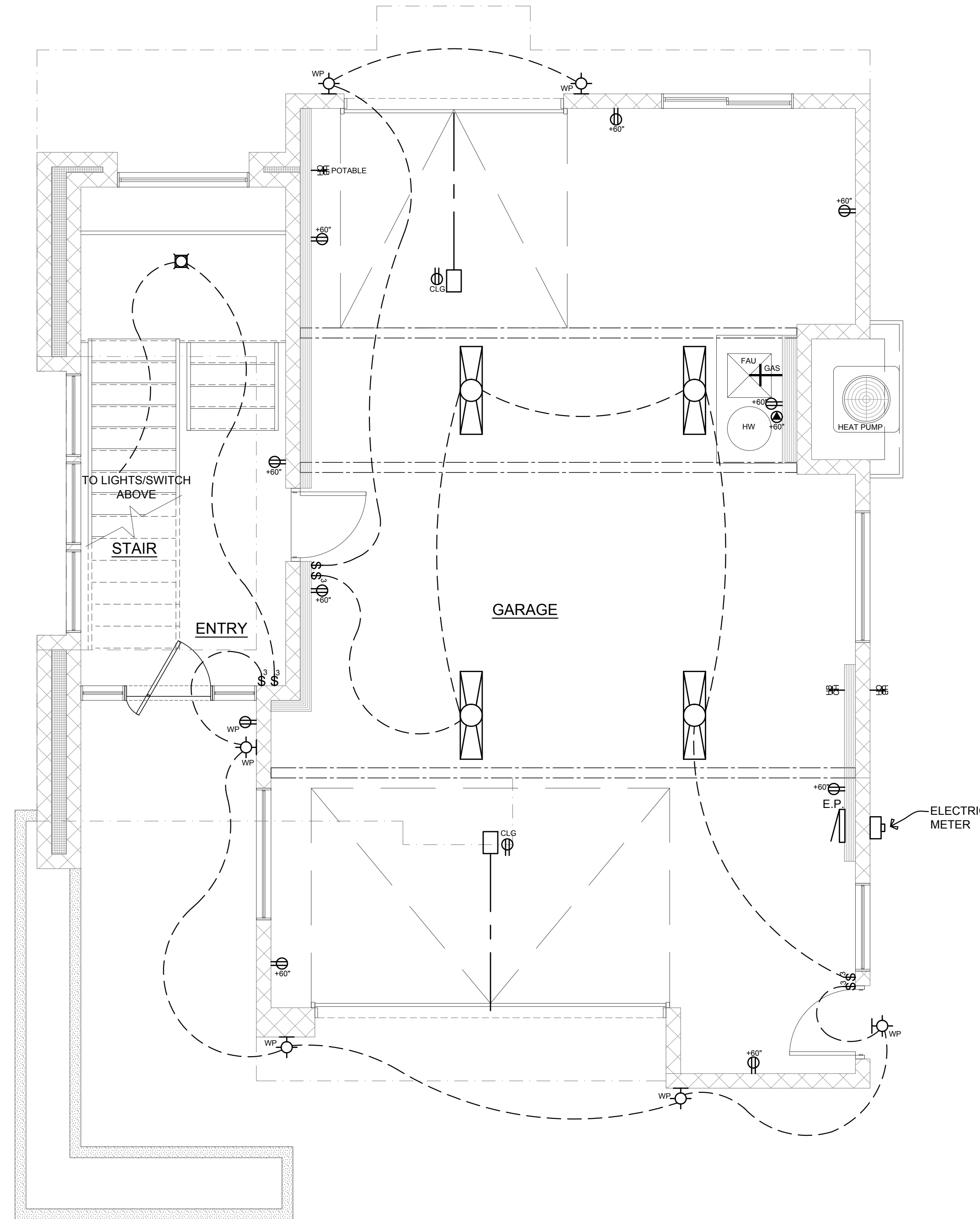
- ⊕ "BAD ASS FANS BRAND" 6" DIAMETER FAN WITH WINGLETS



SECOND
SCALE

FLOOR

PLAN
1/4" = 1'-0"



FIRST
SCALE

FLOOR

PLAN
1/4" = 1'-0"